

ALTA NORTH STATION APARTMENTS

1865 WEST NORTH TEMPLE, SALT LAKE CITY, UT

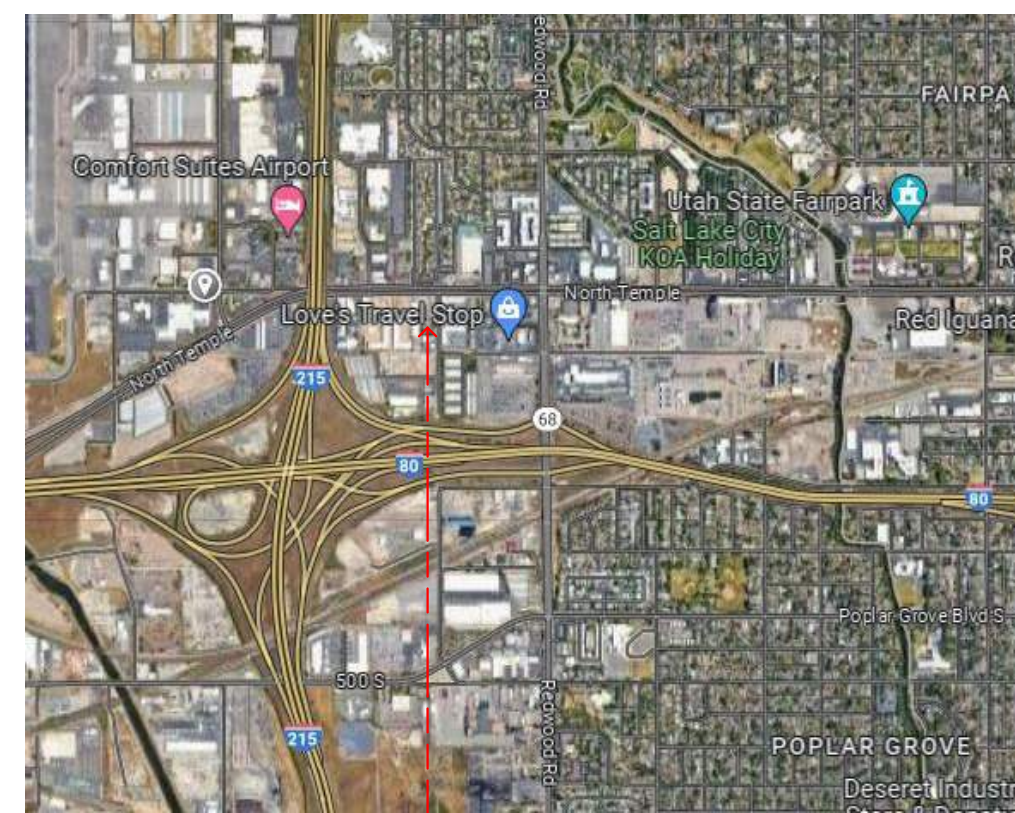
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VICINITY MAP



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CODE SUMMARY

APPLICABLE CODES:
2021 INTERNATIONAL BUILDING CODE (I.B.C.)
2021 INTERNATIONAL MECHANICAL CODE
2021 INTERNATIONAL PLUMBING CODE
2021 INTERNATIONAL FIRE CODE
2021 INTERNATIONAL ENERGY CONSERVATION CODE
2020 NATIONAL ELECTRIC CODE

PROJECT LOCATION:
1865 WEST NORTH TEMPLE
SALT LAKE CITY, UT

CONSTRUCTION TYPE:
(3) LEVELS TYPE I-A
(5) LEVELS TYPE III-A

SPRINKLER SYSTEM:
NFPA 13

DEFERRED SUBMITTALS

FIRE SPRINKLER AND STANDPIPE
SEISMIC BRACING
PREFABRICATED METAL PLATE WOOD TRUSSES
POST-TENSIONED SYSTEM
CONTINUOUS ROD HOLDOWN SYSTEMS

PROJECT INFORMATION

THESE DRAWINGS ARE PART OF A SET OF CONSTRUCTION DOCUMENTS. THE CONSTRUCTION DOCUMENTS CONSIST OF ONE OR MORE OF THE FOLLOWING ELEMENTS:

CONSTRUCTION DRAWINGS
SPECIFICATIONS
STRUCTURAL CALCULATIONS
CONTRACT FORMS AND CONDITIONS
ADDENDA
MODIFICATIONS AND REVISIONS

CONTRACTORS, SUBCONTRACTORS, AND OTHERS WHO PROVIDE LABOR AND/OR MATERIALS REFERENCING THESE DRAWINGS ARE RESPONSIBLE FOR OBTAINING AND REVIEWING ALL CURRENT CONSTRUCTION DOCUMENTS.

CONTRACTORS, SUBCONTRACTORS, AND OTHERS ARE TO REPORT ANY DISCREPANCIES OR ERRORS TO JZW ARCHITECTS IMMEDIATELY. ANY CHANGES TO THE PROJECT WILL BE VERIFIED WITH THE OWNER BY THE ARCHITECT AND REVISIONS WILL BE ISSUED BY ARCHITECT. CONTRACTORS ARE NOT TO MAKE ALTERATIONS OF ANY KIND WITHOUT THE PRIOR WRITTEN CONSENT OF ARCHITECT. DISCREPANCIES NOT REPORTED IMMEDIATELY ARE RESPONSIBILITY OF CONTRACTOR.

CONTRACTORS SHALL NOT SCALE FROM DRAWINGS. DIMENSIONS ARE PROVIDED TO ALLOW FOR ACCURATE CONSTRUCTION OF BUILDING. QUESTIONS ARISING FROM DIMENSIONS SHOULD BE RESOLVED BY CONTACTING ARCHITECT.

ALTA NORTH STATION APARTMENTS

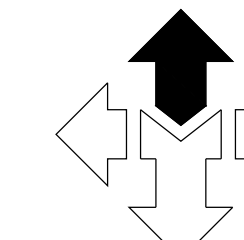
NOT FOR CONSTRUCTION
JZW ARCHITECTS
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JZW ARCHITECTS

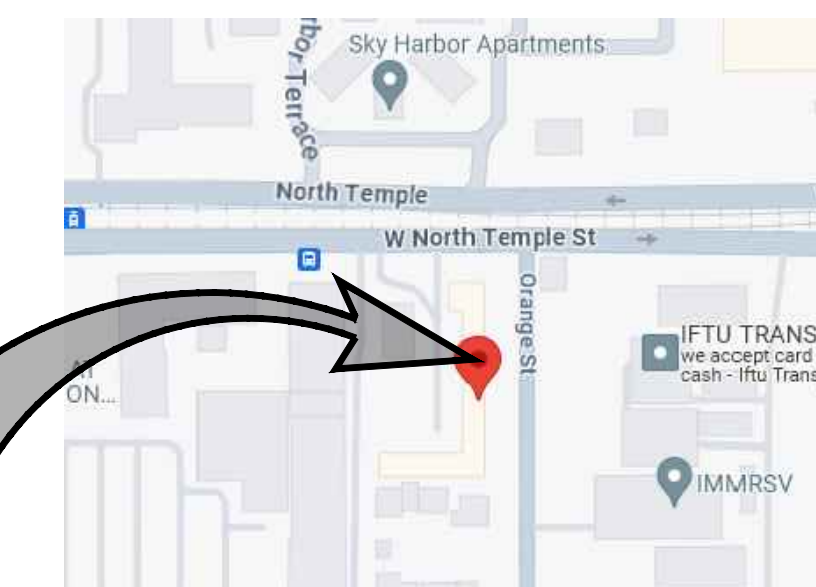
ALTA NORTH STATION CONSTRUCTION PLANS

1865 W NORTH TEMPLE STREET
SALT LAKE CITY, UTAH

NORTH

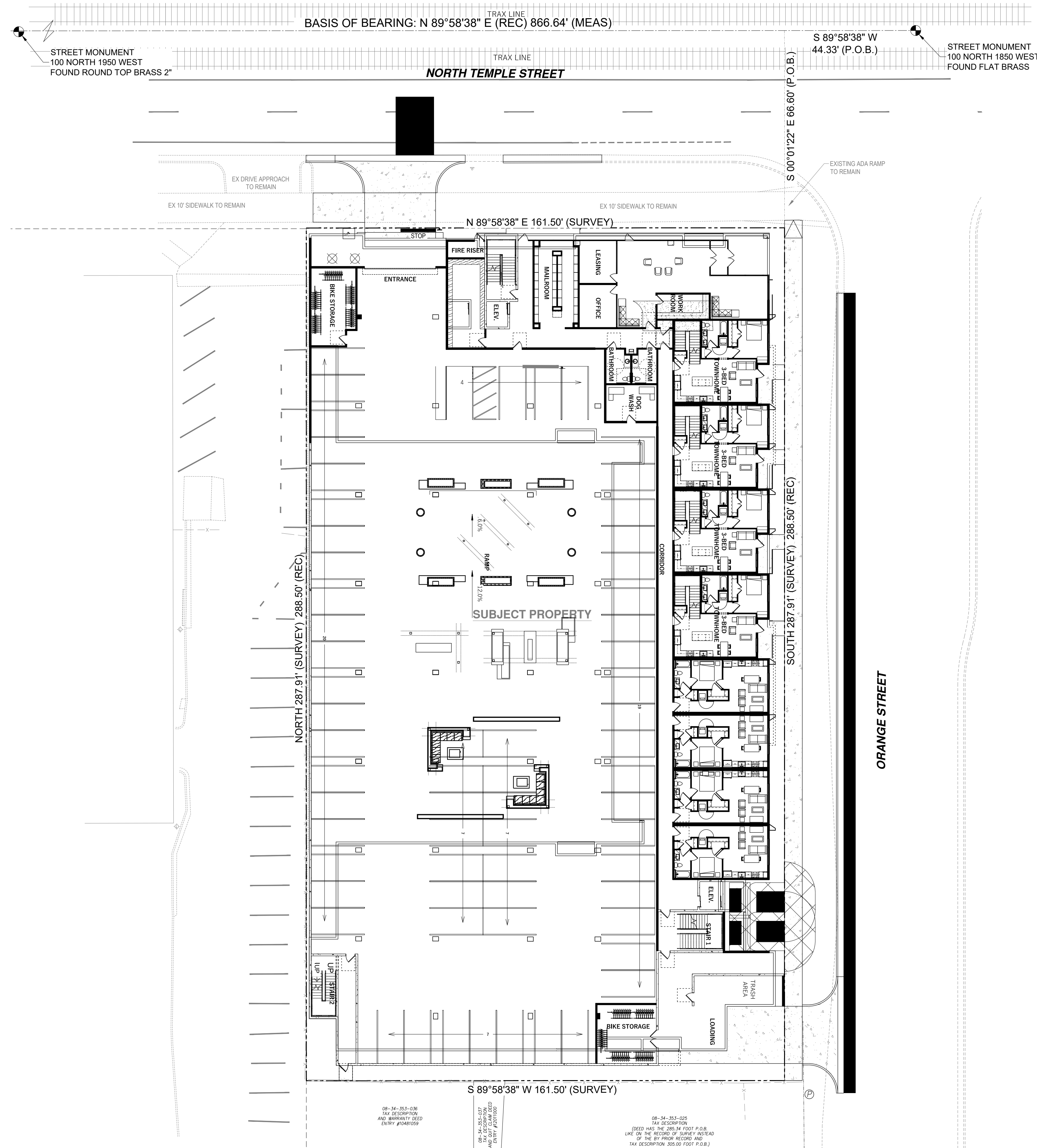


SCALE: 1" = 20'



SITE

VICINITY MAP
N.T.S.



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ALL WORK AND MATERIALS FOR WATER
MUST CONFORM TO APWA AND SLCPU
STANDARDS AND SPECIFICATIONS

ALL WORK AND MATERIALS FOR SEWER
MUST CONFORM TO APWA AND SLCPU
STANDARDS AND SPECIFICATIONS

ALL WORK AND MATERIALS IN THE
PUBLIC RIGHT-OF-WAY MUST CONFORM
TO APWA AND SLCPU STANDARDS AND
SPECIFICATIONS

DEVELOPER & OWNER

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Civil Engineering • Consulting & Landscape Architecture
Structural Engineering • Land Surveying & HDS

GENERAL NOTES

- 1.1 COMPLIANCE**
 - ALL WORK TO CONFORM TO GOVERNING MUNICIPALITY'S STANDARDS, SPECIFICATIONS AND REQUIREMENTS.
 - ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THESE CONTRACT DOCUMENTS AND THE MOST RECENT, ADOPTED EDITIONS OF THE FOLLOWING: INTERNATIONAL BUILDING CODE (IBC), THE INTERNATIONAL PLUMBING CODE, STATE DRINKING WATER REGULATIONS, APWA MANUAL OF STANDARD PLANS AND SPECIFICATIONS, ADA ACCESSIBILITY GUIDELINES.
 - ALL CONSTRUCTION SHALL BE AS SHOWN ON THESE PLANS. ANY REVISIONS MUST HAVE PRIOR WRITTEN APPROVAL.
- 1.2 PERMITTING AND INSPECTIONS**
 - PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED THOROUGHLY REVIEWED PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
 - CONTRACTOR IS RESPONSIBLE FOR SCHEDULING AND NOTIFYING ARCHITECT/ENGINEER OR INSPECTING AUTHORITY 48 HOURS IN ADVANCE OF COVERING UP ANY PHASE OF CONSTRUCTION REQUIRING OBSERVATION.
 - ANY WORK IN THE PUBLIC RIGHT-OF-WAY WILL REQUIRE PERMITS FROM THE APPROPRIATE CITY, COUNTY OR STATE AGENCY CONTROLLING THE ROAD AND WITH APPROPRIATE INSPECTIONS.
- 1.3 COORDINATION & VERIFICATION**
 - ALL DIMENSIONS, GRADES & UTILITY DESIGNS SHOWN ON THE PLANS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS. IF NOT VERIFIED AND NOTIFICATION OF CONFLICTS HAVE NOT BEEN BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER.
 - CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS BEFORE BIDDING AND BRING UP ANY QUESTIONS BEFOREHAND. NO ALLOWANCE WILL BE MADE FOR DISCREPANCIES OR OMISSIONS THAT CAN BE EASILY OBSERVED.
 - CONTRACTOR TO COORDINATE WITH ALL OTHER DISCIPLINES, INCLUDING BUT NOT LIMITED TO: LANDSCAPE PLANS, SITE ELECTRICAL SITE LIGHTING PLANS AND ELECTRICAL SERVICE TO THE BUILDINGS), MECHANICAL PLANS FOR LOCATION OF SERVICES TO THE BUILDINGS), INCLUDING FIRE PROTECTION, ARCHITECTURAL SITE PLAN FOR DIMENSIONS, ACCESSIBLE ROUTES, ETC., NOT SHOWN ON CIVIL PLANS.
 - CONTRACTOR IS TO COORDINATE LOCATION OF NEW TELEPHONE SERVICE, GAS SERVICE, CABLE, ETC. TO BUILDING WITH THE APPROPRIATE UTILITY COMPANY. FOR TELEPHONE, CONTRACTOR TO FURNISH CONDUIT, PLYWOOD BACKBOARD, AND GROUND WIRE, AS REQUIRED.
- 1.4 SAFETY AND PROTECTION**
 - CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION.
 - CONTRACTOR IS RESPONSIBLE FOR THE SAFETY OF THE PROJECT AND SHALL MEET ALL OSHA REQUIREMENTS.
 - CONTRACTOR IS RESPONSIBLE FOR CONFORMING TO LOCAL AND FEDERAL CODES GOVERNING SHORING AND BRACING OF EXCAVATIONS AND TRENCHES, AND FOR THE PROTECTION OF WORKERS AND PUBLIC.
 - CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO PROTECT ALL EXISTING PUBLIC AND PRIVATE PROPERTY, ROADWAYS, IMPROVEMENTS, DAMAGE TO EXISTING IMPROVEMENTS CAUSED BY THE CONTRACTOR MUST BE REPAIRED BY THE CONTRACTOR AT HIS/HER EXPENSE TO THE SATISFACTION OF THE OWNER OF SAID IMPROVEMENTS.
 - CONTRACTOR IS REQUIRED TO KEEP ALL CONSTRUCTION ACTIVITIES WITHIN THE APPROVED PROJECT LIMITS. THIS INCLUDES, BUT IS NOT LIMITED TO, VEHICLE AND EQUIPMENT STAGING, MATERIAL STORAGE AND LIMITS OF TRENCH EXCAVATION.
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN PERMISSION AND/OR EASEMENTS FROM THE APPROPRIATE GOVERNMENT AGENCY AND/OR INDIVIDUAL PROPERTY OWNER(S) FOR WORK OR STAGING OUTSIDE OF THE PROJECT LIMITS.
 - CONTRACTOR SHALL PROVIDE BARRICADES, SIGNS, FLASHERS, OTHER EQUIPMENT AND FLAG PERSONS NECESSARY TO INSURE THE SAFETY OF WORKERS AND VISITORS. ALL CONSTRUCTION SIGNING, BARRICADES, AND TRAFFIC DELINEATION SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", LATEST EDITION.
 - CONTRACTOR SHALL COMPLY WITH LOCAL NOISE ORDINANCE STANDARDS.
 - CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL, ACCORDING TO GOVERNING AGENCY STANDARDS.
 - CONTRACTOR SHALL TAKE ALL NECESSARY AND PROPER PRECAUTIONS TO PROTECT ADJACENT PROPERTIES FROM ANY AND ALL DAMAGE THAT MAY OCCUR FROM STORM WATER RUNOFF AND/OR DEPOSITION OF DEBRIS RESULTING FROM ANY AND ALL WORK IN CONNECTION WITH CONSTRUCTION. SUBMIT A STORM WATER POLLUTION PREVENTION PLAN, IF REQUIRED.
 - WORK IN PUBLIC STREETS, ONCE BEGUN, SHALL BE PROSECUTED TO COMPLETION WITHOUT DELAY AS TO PROVIDE MINIMUM INCONVENIENCE TO ADJACENT PROPERTY OWNERS AND TO THE TRAVELING PUBLIC.
 - CONTRACTOR SHALL PROVIDE ALL NECESSARY HORIZONTAL AND VERTICAL TRANSITIONS BETWEEN NEW CONSTRUCTION AND EXISTING SURFACES TO PROVIDE FOR PROPER DRAINAGE AND FOR INGRESS AND EGRESS TO NEW CONSTRUCTION. THE APPROACH SHALL BE DESIGNED BY THE OWNER OR GOVERNING AGENCY.
 - NATURAL VEGETATION AND SOIL COVER SHALL NOT BE DISTURBED PRIOR TO ACTUAL CONSTRUCTION OF A REQUIRED FACILITY OR IMPROVEMENT. MASS CLEARING OF THE SITE IN ANTICIPATION OF CONSTRUCTION SHALL BE AVOIDED. CONSTRUCTION TRAFFIC SHALL BE LIMITED TO ONE APPROACH TO THE SITE. THE APPROACH SHALL BE DESIGNATED BY THE OWNER OR GOVERNING AGENCY.
 - THE CONTRACTOR SHALL TAKE REASONABLE MEASURE TO PROTECT EXISTING IMPROVEMENTS FROM DAMAGE AND ALL SUCH IMPROVEMENTS DAMAGED BY THE CONTRACTOR'S OPERATION SHALL BE REPAIRED OR RECONSTRUCTED TO THE ENGINEER/OWNER'S SATISFACTION AT THE EXPENSE OF THE CONTRACTOR.
- 1.5 MATERIALS**
 - SITE CONCRETE SHALL BE A MINIMUM 6 BAG MIX, 4000 P.S.I. @ 28 DAYS, 4" MAXIMUM SLUMP WITH 5 - OR - 1% AIR ENTRAINMENT, UNLESS SPECIFIED OTHERWISE. -SEE SPECIFICATION
 - SLABS-ON-GRADE WILL BE TYPICALLY SCORED (1/4 THE DEPTH) AT INTERVALS NOT TO EXCEED THEIR WIDTH OR 12 TIMES THEIR DEPTH, WHICHEVER IS LESS. SCORING WILL BE PLACED TO PREVENT RANDOM CRACKING. FULL DEPTH EXPANSION JOINTS WILL BE PLACED AGAINST ANY OBJECT DEEMED TO BE FIXED, CHANGES IN DIRECTION AND AT EQUAL INTERVALS NOT TO EXCEED 50 FEET.
 - CONCRETE WATERWAYS, CURB/WALLS, MOWSTRIPS, CURB AND GUTTER, ETC. WILL TYPICALLY BE SCORED (1/4 THE DEPTH AT INTERVALS NOT TO EXCEED 10 FEET AND HAVE FULL DEPTH EXPANSION JOINTS AT EQUAL SPACING NOT TO EXCEED 50 FEET.
 - UNLESS OTHERWISE NOTED, ALL SLABS-ON-GRADE WILL HAVE A MINIMUM 8" TURNED-DOWN EDGE TO HELP CONTROL FROST HEAVE.
 - UNLESS OTHERWISE NOTED, ALL ON-GRADE CONCRETE WILL BE PLACED ON A MINIMUM 4" GRAVEL BASE OVER A WELL COMPACTED (90%) SUBGRADE.
 - ALL EXPOSED SURFACES WILL HAVE A TEXTURED FINISH, RUBBED OR BROOMED. ANY "PLASTERING" OF NEW CONCRETE WILL BE DONE WHILE IT IS STILL "GREEN".
 - ALL JOINTS (CONTROL, CONSTRUCTION OR EXPANSION JOINTS, ETC) WILL BE SEALED WITH A ONE PART POLYURETHANE SEALANT (SEE SPECIFICATION).
 - ASPHALTIC CONCRETE PAVEMENT SHALL BE A MINIMUM 3" OVER 8" OF COMPACTED (95%) ROAD BASE OVER PROPERLY PREPARED AND COMPACTED (90%) SUBGRADE, UNLESS NOTED OTHERWISE. -SEE SPECIFICATIONS, AND DETAIL "D" SHEET C6.01
 - ASPHALT COMPACTION SHALL BE A MINIMUM 9% (MARSHALL DESIGN).
 - SURFACE COARSE SHALL BE 1/2" MINUS. MIX DESIGN TO BE SUBMITTED FOR APPROVAL AT LEAST TWO WEEKS PRIOR TO ANTICIPATED PAVING SCHEDULE.
 - AC PAVEMENT TO BE A 1/2" ABOVE LIP OF ALL GUTTER AFTER COMPACTION.
 - THICKNESSES OVER 3" WILL BE LAID IN TWO LIFTS WITH THE FIRST LIFT BEING AN APPROVED 3/4" MINUS DESIGN.
- 1.6 GRADING / SOILS**
 - SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT, WHICH BY REFERENCE ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND IN CASE OF CONFLICT SHALL TAKE PRECEDENCE, UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCY BETWEEN THE SOILS REPORT AND THESE PLANS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED IN THE SOILS REPORT.
 - ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR MAXIMUM DENSITY PER ASTM D-1557, EXCEPT UNDER BUILDING FOUNDATIONS WHERE IT SHALL BE 98% MIN. OF MAXIMUM DENSITY. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL NOT EXCEED 2% ABOVE NOR 3% BELOW OPTIMUM.
 - CONTRACTOR SHALL SUBMIT A COMPACTION REPORT PREPARED BY A QUALIFIED REGISTERED SOILS ENGINEER, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITH THE BUILDING PAD AREA AND AREAS TO BE PAVED, HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT.
 - SITE CLEANING SHALL INCLUDE THE LOCATING AND REMOVAL OF ALL UNDERGROUND TANKS, PIPES, VALVES, ETC.
 - ALL EXISTING VALVES, MANHOLES, ETC. SHALL BE RAISED OR LOWERED TO GRADE AS REQUIRED.

GENERAL NOTES: CONTINUED

- 1.7 UTILITIES**
 - THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES EITHER DIRECT OR THROUGH BLUE STAKE TO LOCATE THEIR FACILITIES PRIOR TO STARTING CONSTRUCTION.
 - CONTRACTOR TO VERIFY BY POTHOLING WITH THE VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO INSTALLING ANY NEW LINES. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE.
 - CONTRACTOR MUST START AT LOW END OF ALL NEW GRAVITY UTILITY LINES. MECHANICAL SUB-CONTRACTOR MUST BE PROVIDED CIVIL SITE DRAWINGS FOR COORDINATION AND TO CHECK THE FLOW FROM THE LOWEST POINT IN BUILDING TO THE FIELD VERIFIED CONNECTION AT THE EXISTING MAIN. NO EXTRA COMPENSATION IS TO BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO FAILURE TO COMPLY WITH THESE REQUIREMENTS.
 - CONTRACTOR IS TO VERIFY LOCATION, DEPTH, SIZE, TYPE, AND OUTSIDE DIAMETERS OF UTILITIES IN THE FIELD BY POTHOLING A MINIMUM OF 300 FEET AHEAD. PIPELINE CONSTRUCTION TO AVOID CONFLICTS WITH DESIGNED PIPELINE GRADE AND ALIGNMENT. EXISTING UTILITY INFORMATION SHOWN ON PLANS OR OBTAINED FROM UTILITY COMPANIES OR BLUE STAKED MUST BE ASSUMED AS APPROXIMATE, REQUIRING FIELD VERIFICATION.
 - CULINARY WATER AND FIRE SERVICE LINES TO BE CONSTRUCTED IN ACCORDANCE WITH LOCAL GOVERNING MUNICIPALITY STANDARDS AND SPECIFICATIONS.
 - SANITARY SEWER MAINS AND LATERALS TO BE CONSTRUCTED IN ACCORDANCE WITH LOCAL GOVERNING MUNICIPALITY SEWER DISTRICT STANDARDS AND SPECIFICATIONS.
 - STORM SEWER TO BE CONSTRUCTED IN ACCORDANCE WITH THE GOVERNING MUNICIPALITY STANDARDS AND SPECIFICATIONS.
 - ALL STORM DRAIN AND IRRIGATION CONDUITS SHALL BE INSTALLED WITH WATER TIGHT JOINTS AND CONNECTIONS.
 - ALL STORM DRAIN PIPE PENETRATIONS INTO BOXES SHALL BE CONSTRUCTED WITH WATER TIGHT SEALS ON THE OUTSIDE AND GROUTED SMOOTH WITH A NON-SHRINK GROUT ON THE INSIDE. CONDUITS SHALL BE CUT OFF FLUSH WITH THE INSIDE OF THE BOX.
 - NO CHANGE IN THE DESIGN OF UTILITIES AS SHOWN WILL BE MADE BY THE CONTRACTOR WITHOUT THE WRITTEN APPROVAL OF THE GOVERNING MUNICIPALITY, OR OTHER AUTHORITY HAVING JURISDICTION OVER THAT UTILITY.
 - ALL STORM DRAIN CONDUITS AND BOXES SHALL BE CLEAN AND FREE OF ROCKS, DIRT, AND CONSTRUCTION DEBRIS PRIOR TO FINAL INSPECTION.
- 1.8 SURVEY CONTROL**
 - CONTRACTOR MUST PROVIDE A REGISTERED LAND SURVEYOR OR PERSONS UNDER THE SUPERVISION OF A REGISTERED LAND SURVEYOR TO SET STAKES FOR THE ALIGNMENT AND GRADE OF EACH MAIN AND/OR FACILITY AS SHOWN ON THE PLANS. THE STAKES SHALL BE MARKED WITH THE HORIZONTAL LOCATION (STATION) AND VERTICAL LOCATION (GRADE) WITH CUTS AND/OR FILLS TO THE APPROVED GRADE OF THE MAIN AND OR FACILITY AS SHOWN ON THE PLANS.
 - THE CONTRACTOR SHALL PROTECT ALL STAKES AND MARKERS FOR VERIFICATION PURPOSES.
 - CONTRACTOR WILL BE RESPONSIBLE FOR FURNISHING, MAINTAINING, OR RESTORING ALL MONUMENTS AND REFERENCE MARKS WITHIN THE PROJECT SITE.
- 1.9 AMERICAN DISABILITIES ACT**
 - PEDESTRIAN ADA ROUTES SHALL MEET THE FOLLOWING SPECIFICATIONS:
 - "ROUTES SHALL HAVE A 2.0% (1:48) MAXIMUM GROSS SLOPE.
 - "ROUTES SHALL HAVE A 5.0% (1:20) MAXIMUM RUNNING SLOPE.
 - "RAMPS SHALL HAVE A 8.3% (1:12) MAXIMUM RUNNING SLOPE.
 - "ADA PARKING STALLS AND ADJACENT ROUTES SHALL HAVE A 2.0% (1:48) MAXIMUM SURFACE SLOPE IN ANY DIRECTION.
 - THE CONTRACTOR SHALL ADHERE TO THE ABOVE SPECIFICATIONS, IN THE EVENT OF A DISCREPANCY IN THE CONSTRUCTION DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER PRIOR TO ANY CONSTRUCTION.

LEGEND

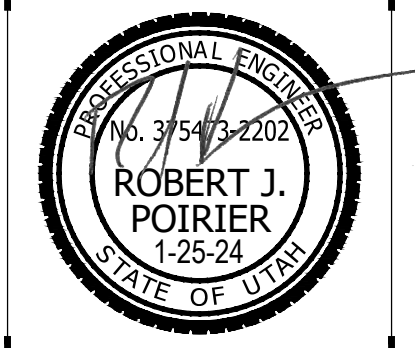
NEW	EXISTING	NEW	EXISTING	DESCRIPTION
---	---	---	---	MONUMENT LINE
---	---	---	---	CENTER LINE
---	---	---	---	SUBJECT PROPERTY LINE
---	---	---	---	ADJACENT PROPERTY LINE
---	---	---	---	EASEMENT LINE
---	---	---	---	DITCH FLOWLINE
X ---	X ---	X ---	X ---	FENCE LINE
ATMS ---	atms ---	ATMS ---	atms ---	ATMS CABLE
TV ---	tv ---	TV ---	tv ---	CABLE TV LINE
C ---	c ---	C ---	c ---	COMMUNICATIONS LINE
F ---	f ---	F ---	f ---	FIBER-OPTIC CABLE
IRR ---	irr ---	IRR ---	irr ---	FIRE LINE
G ---	g ---	G ---	g ---	IRRIGATION LINE
NHG ---	nhg ---	NHG ---	nhg ---	NATURAL GAS LINE
OHC ---	ohc ---	OHC ---	ohc ---	OVERHEAD COMMUNICATIONS
OHP ---	ohp ---	OHP ---	ohp ---	OVERHEAD POWER LINE
OHT ---	oht ---	OHT ---	oht ---	OVERHEAD TELEPHONE LINE
OHTV ---	ohtv ---	OHTV ---	ohtv ---	OVERHEAD TELEVISION LINE
P ---	p ---	P ---	p ---	POWER LINE
PC ---	pc ---	PC ---	pc ---	POWER/COMMUNICATIONS LINE
PT ---	pt ---	PT ---	pt ---	POWER/TELEPHONE LINE
PTC ---	ptc ---	PTC ---	ptc ---	POWER/TELE/COMM LINE
RD ---	rd ---	RD ---	rd ---	ROOF DRAIN LINE
SW ---	sw ---	SW ---	sw ---	SECONDARY WATER LINE
S ---	s ---	S ---	s ---	SANITARY SEWER LINE
ST ---	st ---	ST ---	st ---	STEAM LINE
SD ---	sd ---	SD ---	sd ---	STORM DRAIN LINE
T ---	t ---	T ---	t ---	TELEPHONE LINE
TC ---	tc ---	TC ---	tc ---	TELEPHONE/COMM LINE
UD ---	ud ---	UD ---	ud ---	UNDERDRAIN
UGC ---	ugc ---	UGC ---	ugc ---	UNDERGROUND COMMUNICATIONS
UGP ---	ugp ---	UGP ---	ugp ---	UNDERGROUND POWER LINE
UGT ---	ugt ---	UGT ---	ugt ---	UNDERGROUND TELEPHONE LINE
UGTV ---	ugtv ---	UGTV ---	ugtv ---	UNDERGROUND TELEVISION
W ---	w ---	W ---	w ---	WATER LINE
---	---	---	---	CONTOUR LINE
---	---	---	---	CURB & GUTTER (STD)
---	---	---	---	CURB & GUTTER (OUTFALL)

NEW	EXISTING	DESCRIPTION
---	---	SECTION CORNER (FOUND)
---	---	SECTION CORNER (NOT FOUND)
---	---	STREET MONUMENT
---	---	BRASS CAP MONUMENT
---	---	POWER POLE
---	---	UTILITY POLE
---	---	GUY ANCHOR
---	---	POWER TRANSFORMER
---	---	TRAFFIC SIGNAL CABINET
---	---	LIGHT POLE
---	---	TELEPHONE RISER
---	---	TELEPHONE MANHOLE
---	---	TRAFFIC SIGNAL BOX
---	---	WATER MANHOLE
---	---	WATER VALVE
---	---	WATER METER
---	---	FIRE HYDRANT
---	---	SANITARY SEWER MANHOLE
---	---	STORM DRAIN CLEANOUT
---	---	STORM DRAIN CURB INLET
---	---	STORM DRAIN CATCH BASIN
---	---	STORM DRAIN CLEANOUT
---	---	STORM DRAIN COMBO BOX
---	---	MAILBOX
---	---	SIGN
---	---	FLOW DIRECTION
---	---	SPOT ELEVATION
---	---	CONIFEROUS TREE
---	---	DECIDUOUS TREE

ABBREVIATIONS

AC	ACRE	DIP	DUCTILE IRON PIPE	GM	GAS METER	PCC	POINT OF COMPOUND CURVE	T	TOWNSHIP
ADA	AMERICANS WITH DISABILITIES ACT	DTREE	DECIDUOUS TREE	GMH	GAS MANHOLE	PI	POINT OF INTERSECTION	TBC	TOP BACK OF CURB
ATMS	ADVANCED TRAFFIC MGMT. SYSTEM	DYL	DOUBLE YELLOW LINE	GVY	GUY WIRE	PM	PARKING METER	TEL	TELEPHONE
BAC	BAR & CAP	E	EAST	GV	GUY	PP	POWER POLE	TFC	TOP FACE OF CURB
BC	BUILDING CORNER	EB	ELECTRIC BOX	HDP	HIGH DENSITY POLYETHYLENE	PRC	POINT OF REVERSE CURVE	TFG	TOP FINISH GRADE
BFC	BOTTOM FINISH GRADE	EGL	ENERGY GRADE LINE	HG	HEADGATE	PRK	PARKING STRIPE	TL	TREE LINE
BLUE	BLUE STAKED ELECTRIC	ELEV	ELEVATION	HGL	HYDRAULIC GRADE LINE	PCC	POINT OF CONNECTION	TMH	TELEPHONE MANHOLE
BLUSO	BLUE STAKED FIBER OPTIC	EM	ELECTRIC METER	HP	HIGH POINT	PT	POINT OF TANGENCY	TOA	TOP OF ASPHALT
BLUG	BLUE STAKED NATURAL GAS	EMH	ELECTRIC MANHOLE	HW	HEADWALL or HIGH WATER	PWR	POWER	TOC	TOP OF CONCRETE
BLUIRR	BLUE STAKED IRRIGATION	EOA	EDGE OF ASPHALT	HWC	HIGHWAY	PVC	POLYVINYL CHLORIDE PIPE	TOF	TOP OF FOOTING
BLUSD	BLUE STAKED STORM DRAIN	EOC	EDGE OF CONCRETE	IHO	IRRIGATION CLEANOUT	R	RANGE	TOG	TOP OF GRATE
BLUSS	BLUE STAKED SANITARY SEWER	EOG	EDGE OF GRAVEL	ICV	IRRIGATION CONTROL VALVE	RCP	REINFORCED CONCRETE PIPE	TOE	TOE OF SLOPE
BLUT	BLUE STAKED TELEPHONE	EOI	EDGE OF LAWN	IE	INVERT ELEVATION	RD	ROOF DRAIN	TOP	TOP OF SLOPE or TOP OF PIPE
BLW	BLUE STAKED WATER	EX or EXIST	EXISTING	IRR	IRRIGATION	REV	REVISION	TOW	TOP OF WALL
BM	BENCHMARK	F	FIRE	IRW	RIGHT-OF-WAY	ROW	RIGHT-OF-WAY	TR	TELEPHONE RISER
BOF	BOTTOM OF FOOTING	FC	FOUNDATION CORNER	LP	LIP OF GUTTER	RR	RAILROAD	TV	TELEVISION
BOB	BOTTOM OF BOX	FD	FOUND or FOUNDATION DRAIN	LP	LOW POINT or LIGHT POLE	S	SOUTH	TW	FINISH GRADE AT TOP OF WALL
BOL	BOLLARD	FDC	FIRE DEPT. CONNECTION	MAX	MAXIMUM	SAD	SEE ARCHITECTURAL DRAWINGS	TRANS	TRANSFORMER
BOT	BOTTOM	FDNM	FOUND MONUMENT	MN	MINIMUM	SD	STORM DRAIN	TSP	TRAFFIC SIGNAL POLE
BOV	BLOW-OFF VALVE	FDSC	FOUND SECTION CORNER	MON	MONUMENT	SDCB	STORM DRAIN CATCH BASIN	TSB	TRAFFIC SIGNAL BOX
BOW	BACK OF WALK	FFE	FINISHED FLOOR ELEVATION	MP	METAL PIPE	SDCO	STORM DRAIN CLEANOUT BOX	UD	UNDERDRAIN
BW	FINISH GRADE AT BOTTOM OF WALL	FG	FINISHED GRADE	MW	MONITORING WELL	SGMH	STORM DRAIN MANHOLE	UGC	UNDERGROUND COMMUNICATIONS
CL	CENTERLINE	FH	FIRE HYDRANT	N	NORTH	SEC	SECTION	UGP	UNDERGROUND POWER
CATV	CABLE TELEVISION	FL	FLOW LINE	NG	NATURAL GROUND	SPECS	SPECIFICATIONS	UGT	UNDERGROUND TELEPHONE
CBR	CONCRETE BARRIER	FNC	FENCE	NGT	NG AT RETAINING WALL	SLBAM	SALT LAKE BASE & MERIDIAN	UGTV	UNDERGROUND TELEVISION
CC	CURB CUT	FNCL	CHAIN LINK FENCE	NR	NAIL RIBBON	SO	SQUARE	UN/O.	UNLESS NOTED OTHERWISE
COLL	COLLIM	FNCRN	IRON FENCE	NW	NAIL & WASHER	SO	SQUARE FEET	UP	UTILITY POLE
COMM	COMMUNICATIONS	FNCVL	VINYL FENCE	NTS	NOT TO SCALE	SOVD	SQUARE YARD	VCP	VITRIFIED CLAY PIPE
CONC	CONCRETE	FNCRW	WOOD FENCE	OC	ORIGINAL GROUND	SP	SANITARY SEWER	VP	VERTICAL PIPE
CONST	CONSTRUCTION	FNCRW	WIRE FENCE	OCH	OVERHANG	SSCO	SANITARY SEWER CLEANOUT	W	WEST OF WATER
CP	CORRUGATED METAL PIPE	FO	FIBER OPTIC	OH	OVERHEAD COMMUNICATIONS	SSMH	SANITARY SEWER MANHOLE	WM	WATER METER
CP	CONTROL POINT	FOV	FRONT OF WALK	OHP	OVERHEAD POWER	ST	STEAM	WMH	WATER MANHOLE
CTREE	CONIFEROUS TREE	FT	FEET	OHT	OVERHEAD TELEPHONE	STA	STATION	WS	WATER SURFACE
CUYD	CUBIC YARD	FG	NATURAL GAS	OHTV	OVERHEAD TELEVISION	STD	STANDARD	WTR	WATER
DEL	DELINEATOR	GAR	GARAGE	PL	PROPERTY LINE	STM	STORM	WV	WATER VALVE
DIA or Ø	DIAMETER	GB	GRADE BREAK	PL	POWER BOX	SVL	SOLID YELLOW LINE	WW	WATERWAY
		GL	GROUND LIGHT	PC	POINT OF CURVATURE	SWL	SOLID WHITE LINE		

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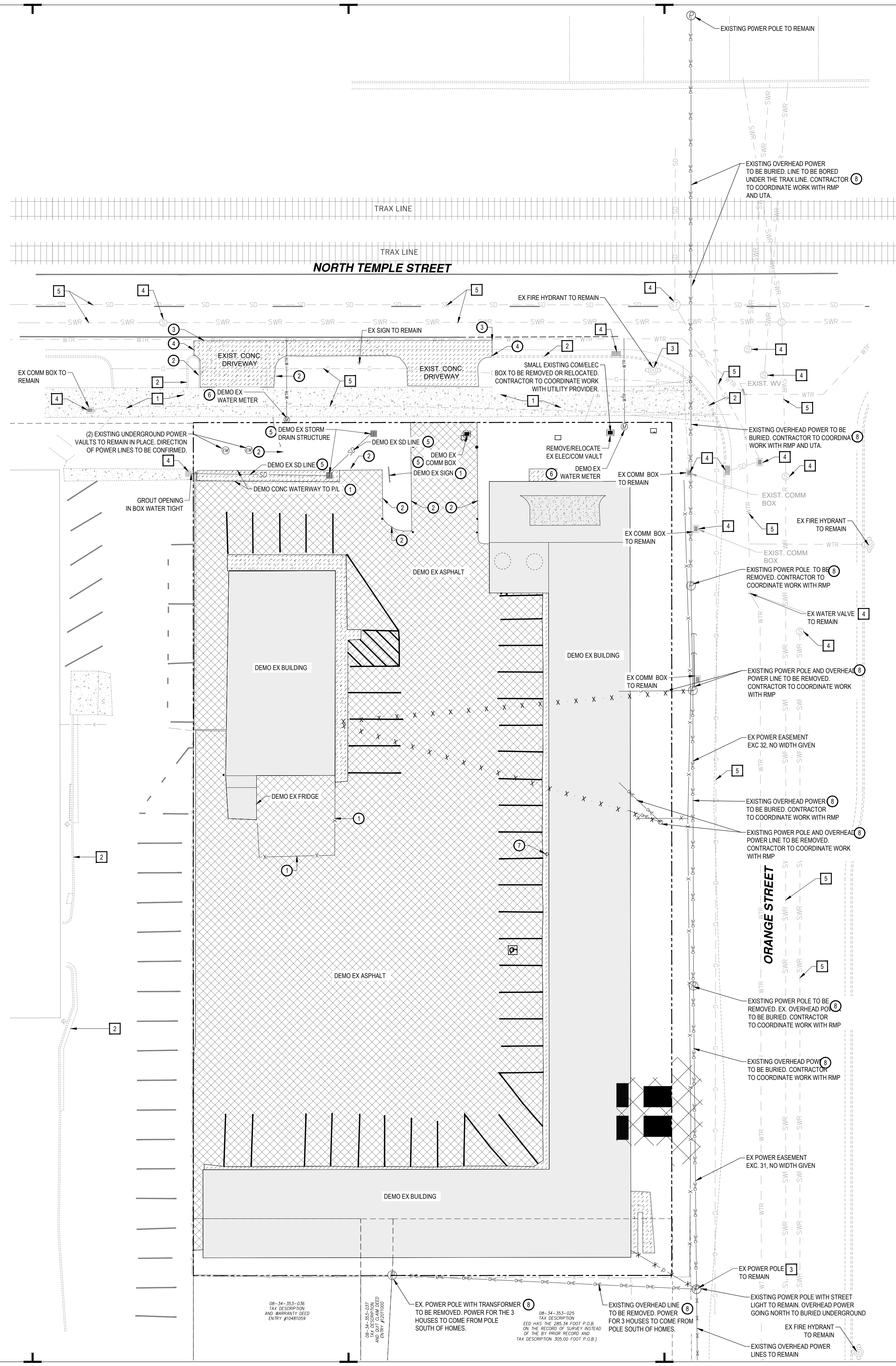
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PROJECT NO: 23630
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 CHECKED BY: RJP
 DATE: 1-25-24

GENERAL NOTES, LEGEND AND ABBREVIATIONS

C0.01

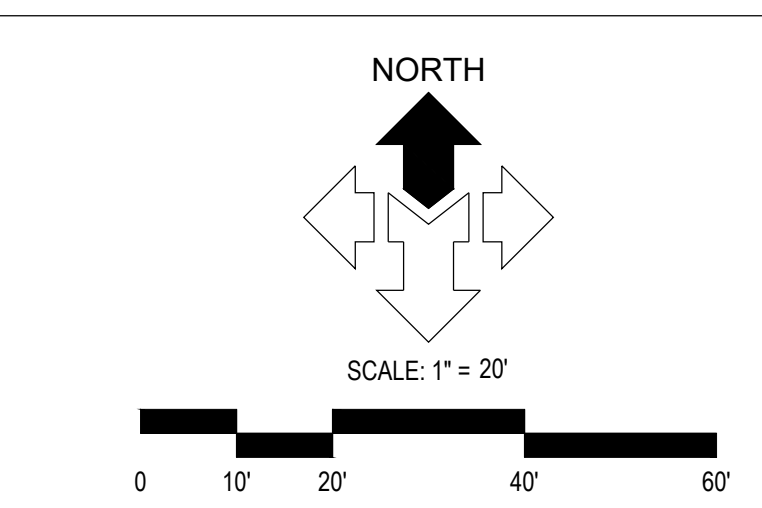
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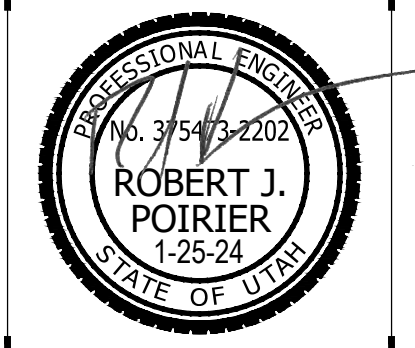
GENERAL NOTES:
 ALL WORK TO COMPLY WITH GOVERNING AGENCIES STANDARDS AND SPECIFICATIONS.
 COORDINATE WITH GOVERNING AGENCY PRIOR TO DEMOLITION OF ANY PUBLIC UTILITY.

UTILITY TYPE	PROVIDER
WATER	SALT LAKE CITY PUBLIC UTILITIES
STORM	SALT LAKE CITY PUBLIC UTILITIES
COMMUNICATIONS	COMCAST
COMMUNICATIONS	CENTURY LINK
COMMUNICATIONS	INTEGRA
SANITARY SEWER	SALT LAKE CITY PUBLIC UTILITIES
NATURAL GAS	DOMINION ENERGY
POWER	ROCKY MOUNTAIN POWER

- KEYED NOTES:**
 DEMOLISH AND/OR REMOVE THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED AND THE DETAILS NOTED AND AS SHOWN ON THE CONSTRUCTION DRAWINGS.
- 1 EXISTING SITE FEATURES (FENCES, GATES, BOLLARDS, GRAVEL DRIVEWAYS, IRRIGATION GATES, CONCRETE DITCHES, WHEEL STOPS, LANDSCAPING, GROUND LIGHTING, IRRIGATION, MOWSTRIPS, ETC.) TO BE REMOVED/DEMOLISHED AND PROPERLY DISPOSED OF.
 - 2 EXISTING CONCRETE CURB AND GUTTER AND/OR CURB WALL TO BE REMOVED/DEMOLISHED AND PROPERLY DISPOSED OF.
 - 3 SAWCUT EXISTING ASPHALT.
 - 4 SAWCUT EXISTING CONCRETE.
 - 5 EXISTING UNDERGROUND STRUCTURE TO BE REMOVED/DEMOLISHED AND PROPERLY DISPOSED OF.
 - 6 CONTRACTOR TO REMOVE EXISTING WATER METER EQUIPMENT AND COORDINATE THE RETURN TO GOVERNING BODY. EXISTING WATER METER VAULT AND ASSOCIATED WATER SERVICE LINE TO BE REMOVED/DEMOLISHED AND PROPERLY DISPOSED OF. LATERAL TO BE CAPPED AT THE MAIN PER SLOPU STDS AND SPECIFICATIONS.
 - 7 EXISTING LIGHT POLE AND ASSOCIATED EQUIPMENT/HARDWARE TO BE REMOVED. CONTRACTOR AND OWNER TO COORDINATE ON LOCATION TO STORE FOR POSSIBLE RE-USE.
 - 8 COORDINATE WITH ROCKY MOUNTAIN POWER FOR REMOVAL OF POWER POLE AND OVERHEAD POWER LINE.
 - 1 PRESERVE AND PROTECT EXISTING CONCRETE FLATWORK. CONTRACTOR TO TAKE NECESSARY PRECAUTIONS TO PROTECT EXISTING CONCRETE FLATWORK FROM DAMAGE DURING CONSTRUCTION.
 - 2 PRESERVE AND PROTECT EXISTING CONCRETE CURB AND GUTTER AND/OR CURB WALL. CONTRACTOR TO TAKE NECESSARY PRECAUTIONS TO PROTECT EXISTING CONCRETE CURB AND GUTTER AND/OR CURB WALL FROM DAMAGE DURING CONSTRUCTION.
 - 3 PRESERVE AND PROTECT EXISTING ABOVE-GROUND UTILITY STRUCTURE. CONTRACTOR TO TAKE NECESSARY PRECAUTIONS TO PROTECT EXISTING UTILITY FROM DAMAGE DURING CONSTRUCTION.
 - 4 PRESERVE AND PROTECT EXISTING UNDERGROUND UTILITY STRUCTURE. CONTRACTOR TO TAKE NECESSARY PRECAUTIONS TO PROTECT EXISTING UTILITY FROM DAMAGE DURING CONSTRUCTION.
 - 5 PRESERVE AND PROTECT EXISTING UNDERGROUND UTILITY LINE. CONTRACTOR TO TAKE NECESSARY PRECAUTIONS TO PROTECT EXISTING UTILITY FROM DAMAGE DURING CONSTRUCTION.
 - 6 PRESERVE AND PROTECT EXISTING ABOVE GROUND UTILITY STRUCTURE. CONTRACTOR TO TAKE NECESSARY PRECAUTIONS TO PROTECT EXISTING UTILITY FROM DAMAGE DURING CONSTRUCTION.



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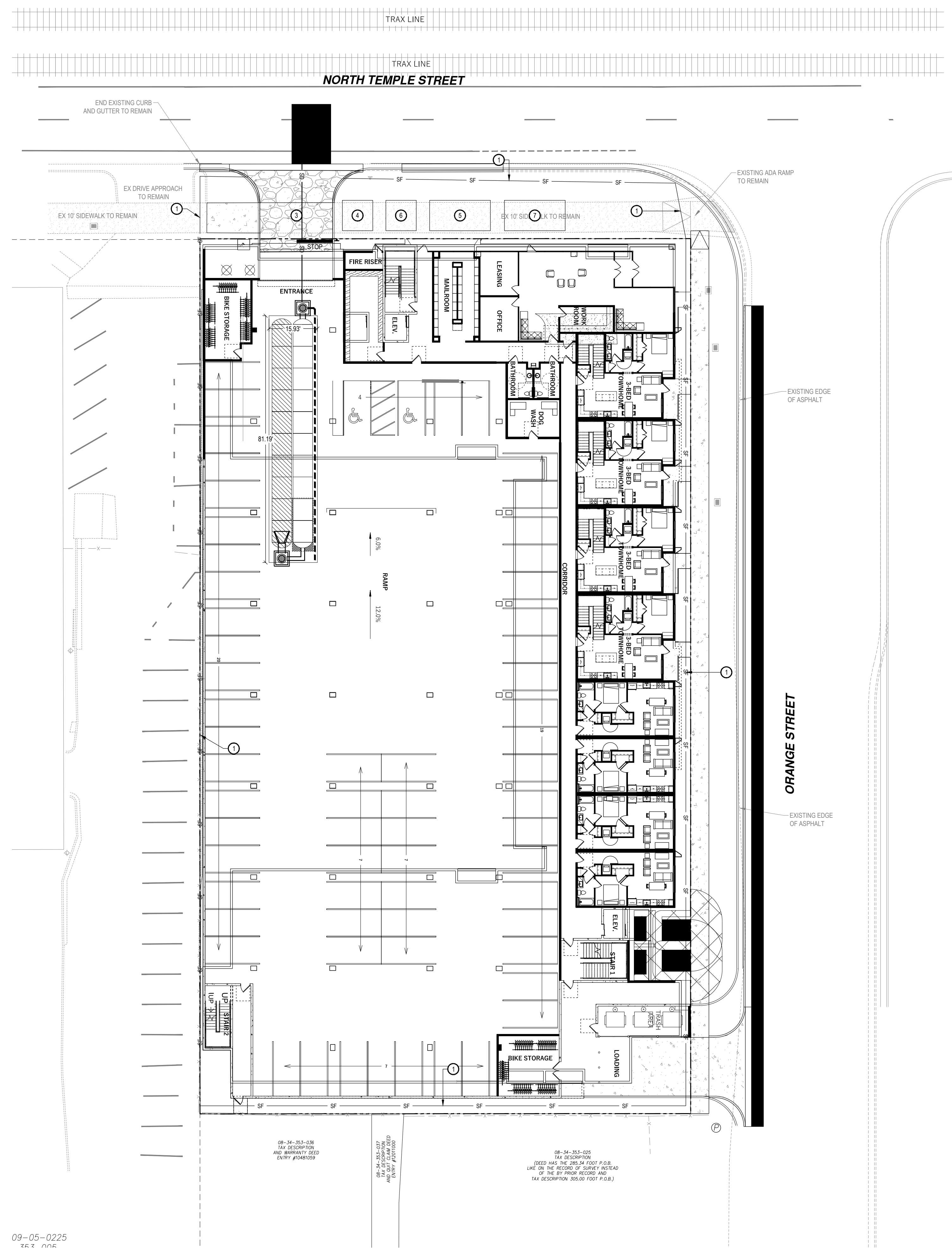
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NORTH TEMPLE STREET
SALT LAKE CITY, UTAH

REV	DATE	DESCRIPTION

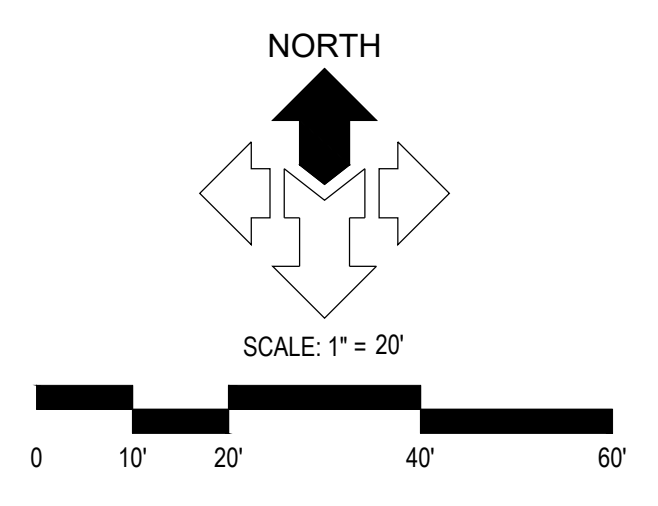
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Utah811
 NOTICE!
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION, AND RESTORATION OF ALL BURIED OR ABOVE GROUND UTILITIES, SHOWN OR NOT SHOWN ON THE PLANS.

DEMOLITION PLAN
CO.10



20'

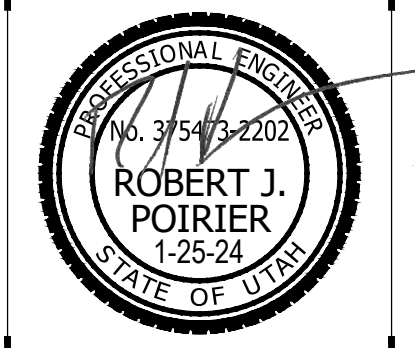


GENERAL NOTES:
 THE CONTRACTOR IS TO USE BEST MANAGEMENT PRACTICES FOR PROVIDING EROSION CONTROL FOR CONSTRUCTION OF THIS PROJECT. SPECIFIC DETAILS REFERRED TO ON THIS SHEET SHALL BE USED IN COMBINATION WITH OTHER ACCEPTED LOCAL PRACTICES.
 ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE LOCAL AGENCY'S EROSION CONTROL STANDARDS AND SPECIFICATIONS AND ALL WORK SHALL BE SUBJECT TO INSPECTION BY THE AGENCY HAVING JURISDICTION. ALSO INSPECTORS WILL HAVE THE RIGHT TO CHANGE THE FACILITIES AS NEEDED.
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATIONS OF ALL EXISTING UTILITIES. IF CONFLICTS OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION TO DETERMINE IF ANY FIELD ADJUSTMENTS SHOULD BE MADE.
 THE CONTRACTOR SHALL PROVIDE ADEQUATE DUST CONTROL.
 WHEN GRADING OPERATIONS HAVE BEEN COMPLETED AND THE DISTURBED GROUND SHALL BE LEFT OPEN FOR 30 DAYS OR MORE THE AREA SHALL BE FURROWED PARALLEL TO THE CONTOURS OF THE AREA.
 THE CONTRACTOR SHALL MODIFY EROSION CONTROL MEASURES TO ACCOMMODATE PROJECT PLANNING.

MAINTENANCE:
 THE OWNER'S REPRESENTATIVE SHALL MAKE ROUTINE CHECKS ON ALL EROSION CONTROL MEASURES TO DETERMINE IF REPAIRS OR SEDIMENT REMOVAL IS NECESSARY. DUE TO CONDITIONS THAT MAY ARISE IN THE FIELD, ADDITIONAL CONTROL MAY BE DETERMINED TO BE NECESSARY.
 SILT FENCE BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT THE LEAST DAILY DURING PROLONGED RAINFALL.
 CLOSE ATTENTION SHALL BE PAID TO THE REPAIR OF DAMAGED SILT FENCES, END RUNS, AND UNDERCUTTING BENEATH SILT FENCING.
 NECESSARY REPAIRS TO BARRIERS OR REPLACEMENT OF SILT FENCING SHALL BE ACCOMPLISHED PROMPTLY.
 SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.

KEYED NOTES:
 PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED AND THE DETAILS NOTED AND AS SHOWN ON THE CONSTRUCTION DRAWINGS:
 ① SILT FENCE AS SHOWN ON PLAN. SEE DETAIL 'C3', SHEET C5.03.
 ② INLET PROTECTION AROUND EXISTING OR NEW STORM DRAIN CATCH BASINS OR CURB INLETS. SEE DETAIL 'A1', SHEET C5.03.
 ③ TEMPORARY CONSTRUCTION ENTRANCE. SEE DETAIL 'C1', SHEET C5.03. LOCATION SHOWN IS SUGGESTIVE. CONTRACTOR TO RELOCATE AS NEEDED.
 ④ CONCRETE WASHOUT AREA. CREATE A MIN. 10'X10' AREA WITH A 1" HIGH BERM. LINE AREA WITH PLASTIC. DISCARD WASTE IN DUMPSTER WHEN FULL AND LEGALLY DISPOSE OF. SEE DETAIL 'A3', SHEET C5.03. LOCATION SHOWN IS SUGGESTIVE. CONTRACTOR TO RELOCATE AS NEEDED.
 ⑤ CONSTRUCTION DUMPSTER. CHECK LEVEL DAILY. LEGALLY DISPOSE OF WASTE AS NEEDED. LOCATION SHOWN IS SUGGESTIVE. CONTRACTOR TO RELOCATE AS NEEDED.
 ⑥ PORTABLE CONSTRUCTION TOILET. TOILET TO BE PROPERLY SECURED TO PREVENT TIPPING. BUILD 6" BERM AROUND TOILET TO CONTAIN ANY SPILLS OR LEAKAGE. CHECK LEVEL DAILY. LEGALLY DISPOSE OF WASTE AS NEEDED. SEE DETAIL 'C5', SHEET C5.03. LOCATION SHOWN IS SUGGESTIVE. CONTRACTOR TO RELOCATE AS NEEDED.
 ⑦ MATERIAL STORAGE AND STOCK PILE AREA. SEE DETAIL 'A5', SHEET C5.03. LOCATION SHOWN IS SUGGESTIVE. CONTRACTOR TO RELOCATE AS NEEDED.

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EROSION CONTROL PLAN
C2.10

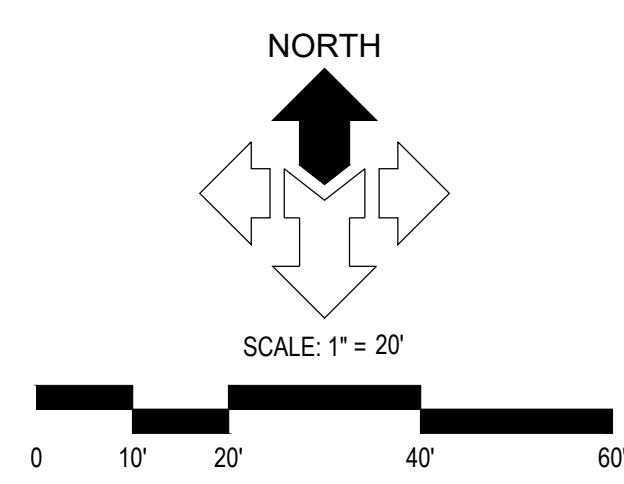
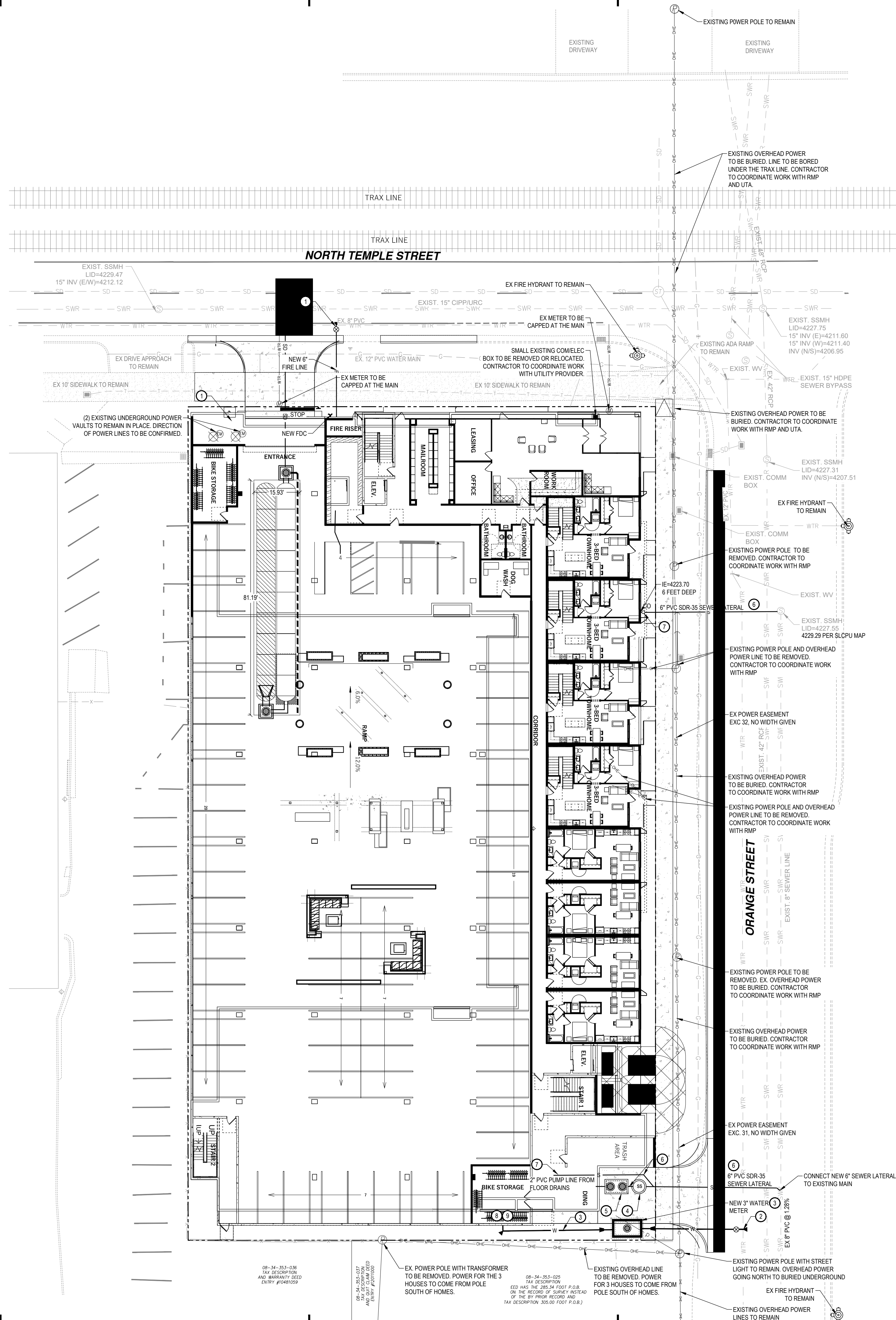
NOTICE!
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION, AND RESTORATION OF ALL BURIED OR ABOVE GROUND UTILITIES, SHOWN OR NOT SHOWN ON THE PLANS.

09-05-0225
 25 2 006

09-34-253-036
 TAX DESCRIPTION
 AND WARRANTY DEED
 ENTRY #10460500

09-34-253-037
 TAX DESCRIPTION
 AND WARRANTY DEED
 ENTRY #10460500

09-34-253-038
 TAX DESCRIPTION
 (SEE THE 2013.00 FOOT P.G.B.
 LINK ON THE RECORD OF SURVEY WEBSITE
 OF THE #1 PINK RECORD AND
 TAX DESCRIPTION 305.00 FOOT P.G.B.)

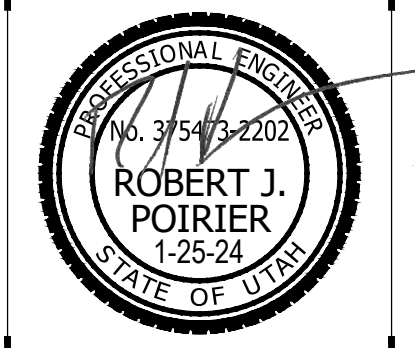


GENERAL NOTES:
 CONTRACTOR IS TO COORDINATE ALL SITE UTILITIES WITH PLUMBING DRAWINGS.
 ALL NEW WATER CONSTRUCTION TO BE DONE IN ACCORDANCE WITH LOCAL GOVERNING MUNICIPALITY STANDARDS & SPECIFICATIONS.
 ALL NEW SANITARY SEWER CONSTRUCTION TO BE DONE IN ACCORDANCE WITH LOCAL GOVERNING MUNICIPALITY STANDARDS & SPECIFICATIONS.
 CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND INVERT ELEVATIONS OF EXISTING MANHOLES AND OTHER UTILITIES BEFORE STAKING OR CONSTRUCTING ANY SEWER LINES.
 FOUR FEET OF COVER IS REQUIRED OVER ALL SEWER LINES.
 MAINTAIN A MINIMUM OF 48 INCHES OF COVER ON ALL WATER LINES.
 CONTRACTOR IS TO COORDINATE LOCATION AND DESIGN OF NEW COMMUNICATION / DATA FACILITIES TO BUILDING WITH UTILITY PROVIDER.
 CONTRACTOR IS TO COORDINATE LOCATION AND DESIGN OF NEW NATURAL GAS FACILITIES TO BUILDING WITH DOMINION ENERGY AND MECHANICAL PLANS.
 LOCATION OF ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE LOCATIONS. CONTRACTOR IS TO VERIFY CONNECTION POINTS WITH EXISTING UTILITIES. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO EXISTING UTILITIES AND UTILITY STRUCTURE THAT ARE TO REMAIN.

UTILITY PROVIDERS:
 WATER: SLCPU
 SEWER: SLCPU
 NATURAL GAS: DOMINION ENERGY
 ELECTRICAL POWER: POWER PROVIDER
 TELEPHONE: CENTURY LINK

- KEYED NOTES:**
 PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED AND THE DETAILS NOTED AND AS SHOWN ON THE CONSTRUCTION DRAWINGS.
- ① 6" DIP CLASS 52 FIRE LINE WRAPPED IN AWWA APPROVED POLYETHYLENE ENCASEMENT (POLYWRAP), INCLUDING ALL FITTINGS, THRUST BLOCKING AND 6" GATE VALVE AT POINT OF CONNECTION. SEE APWA DETAIL 661 FOR THRUST BLOCK, SLCPU STD PRACTICE 1 FOR TRENCHING, AND "TYPICAL GATE VALVE" DETAIL, SHEET C5.02.
 - ② HOT TAP CONNECT NEW 4" PVC C-900 TO EXISTING 12" WATER MAIN. REDUCE TO 3" TYPE K COPPER 3' BEFORE METER PER APWA PLAN NO. 552. INSTALL 4" GATE VALVE AT POINT OF CONNECTION. SEE "TYPICAL GATE VALVE" DETAIL '02, SHEET C5.01.
 - ③ 3" WATER METER, PER APWA PLANS NO. 522 & 505. UPSIZE LINE TO 4" PVC C-900, 3' PAST METER FOR CONTINUATION TO BUILDING.
 - ④ 40 SANITARY SEWER SAMPLING MANHOLE, PER SLCPU STANDARDS AND SPECIFICATIONS.
 RIM: 4229.30 IE IN: 4223.55 IE OUT: 4223.22
 - ⑤ OLD CASTLE 440 GALLON SAND OIL WATER SEPARATOR, PER SLCPU STANDARDS AND SPECIFICATIONS.
 E RIM: 4229.40 W RIM: 4229.35 IE IN: 4223.70 IE OUT: 4223.60
 - ⑥ 6" PVC SDR-35 SANITARY SEWER LATERAL, INCLUDING ALL FITTINGS, CLEANOUTS AT 100-FOOT MAXIMUM SPACING. SEE APWA PLANS NO. 381 & 382 FOR TRENCHING. SEE APWA PLAN NO. 431 FOR CONNECTION TO THE MAIN AND CLEANOUTS. CONTRACTOR TO FIELD VERIFY DEPTH OF SEWER MANHOLES IN ORANGE STREET. IF ELEVATIONS DIFFERENT SIGNIFICANTLY FROM WHAT IS SHOWN CONTRACTOR TO NOTIFY ENGINEER OF RECORD AS SOON AS POSSIBLE.
 - ⑦ SANITARY SEWER CLEANOUT, PER APWA PLAN NO. 431.
 - ⑧ APPROXIMATE LOCATION OF NEW UNDERGROUND POWER SERVICE LINE. CONTRACTOR TO COORDINATE SIZE, DESIGN AND INSTALLATION BY ROCKY MOUNTAIN POWER WITH OTHER CONSTRUCTION.
 - ⑨ APPROXIMATE LOCATION OF NEW UNDERGROUND COMMUNICATION LINES. CONTRACTOR TO COORDINATE DESIGN AND INSTALLATION BY PROVIDERS WITH OTHER CONSTRUCTION.

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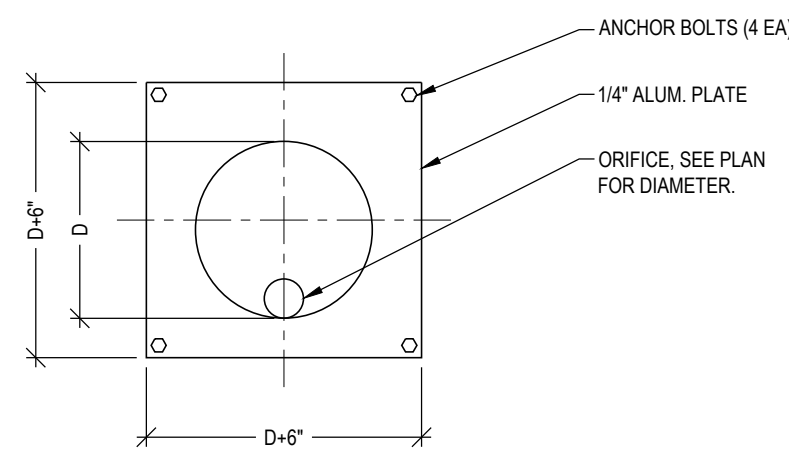
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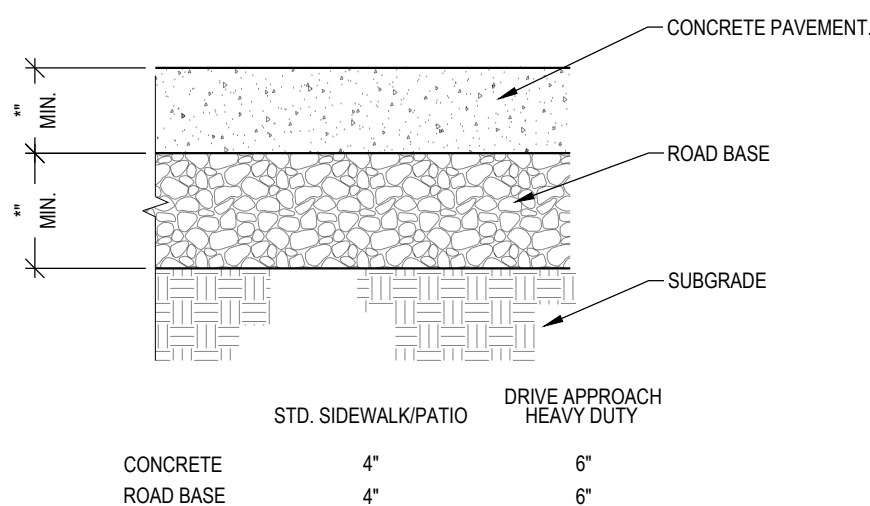
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SITE UTILITY PLAN
C4.01

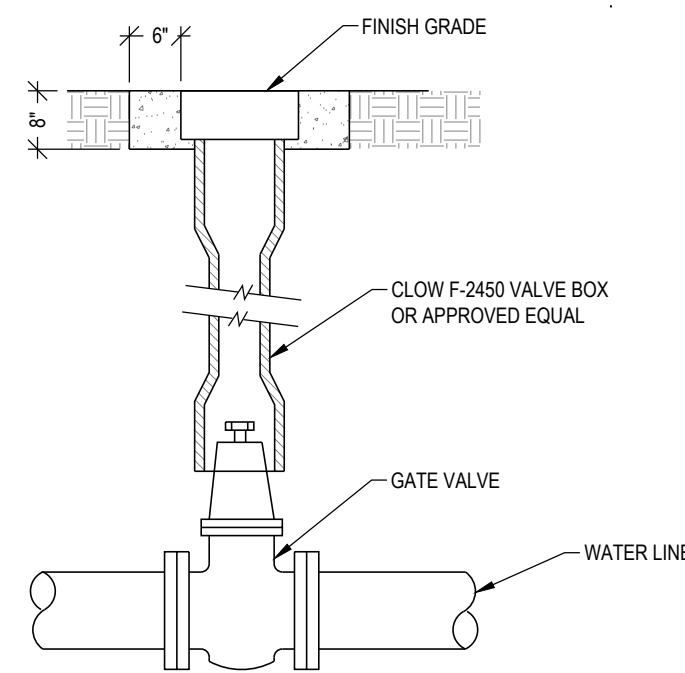
Utah811
 NOTICE!
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION, AND RESTORATION OF ALL BURIED OR ABOVE GROUND UTILITIES, SHOWN OR NOT SHOWN ON THE PLANS.



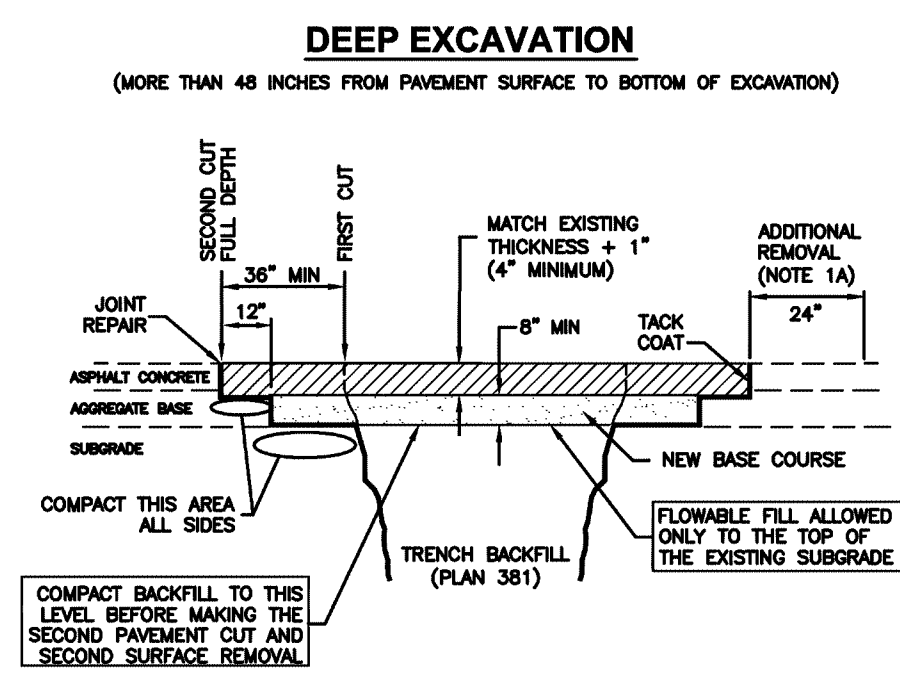
ORIFICE RESTRICTOR
SCALE: N.T.S. **D1**



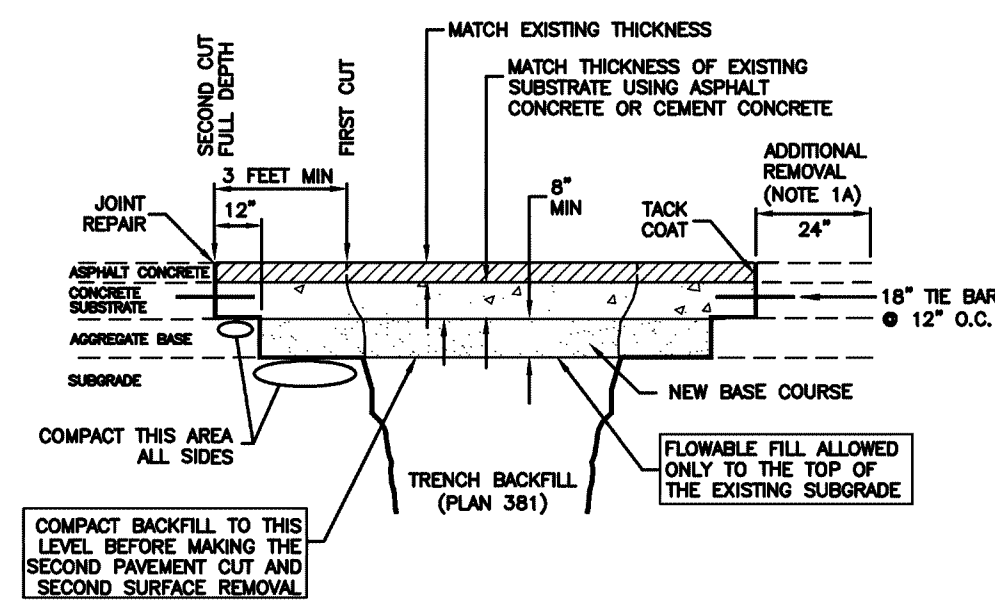
CONCRETE PAVEMENT SECTION
SCALE: N.T.S. **C1**



TYPICAL GATE VALVE DETAIL
SCALE: N.T.S. **D2**

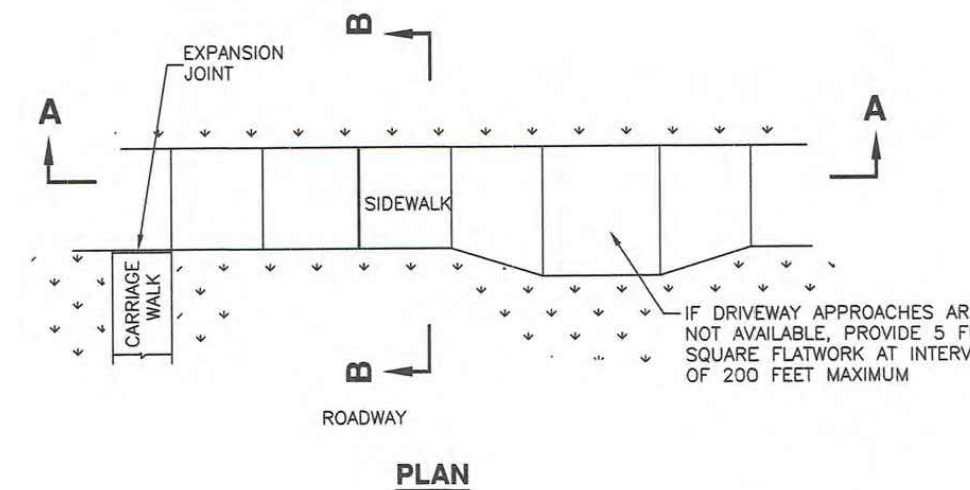


ASPHALT RESTORATION

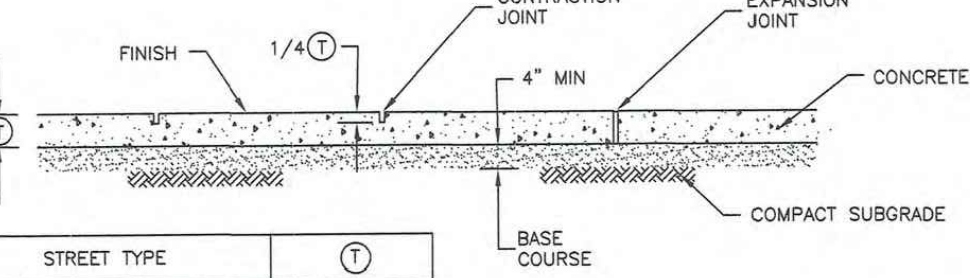


COMPOSITE RESTORATION

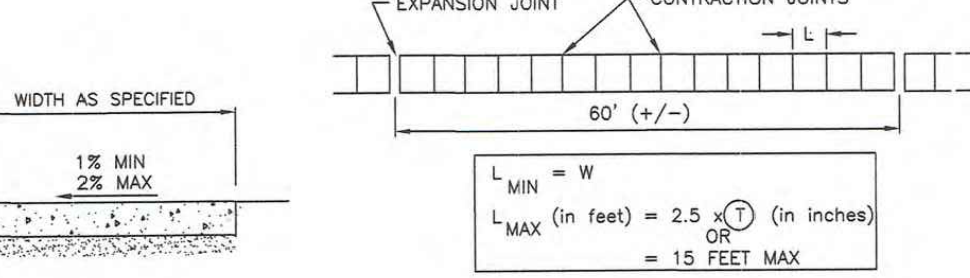
Asphalt concrete T-patch
Plan 255
December 2010
Sheet 2 of 2



PLAN



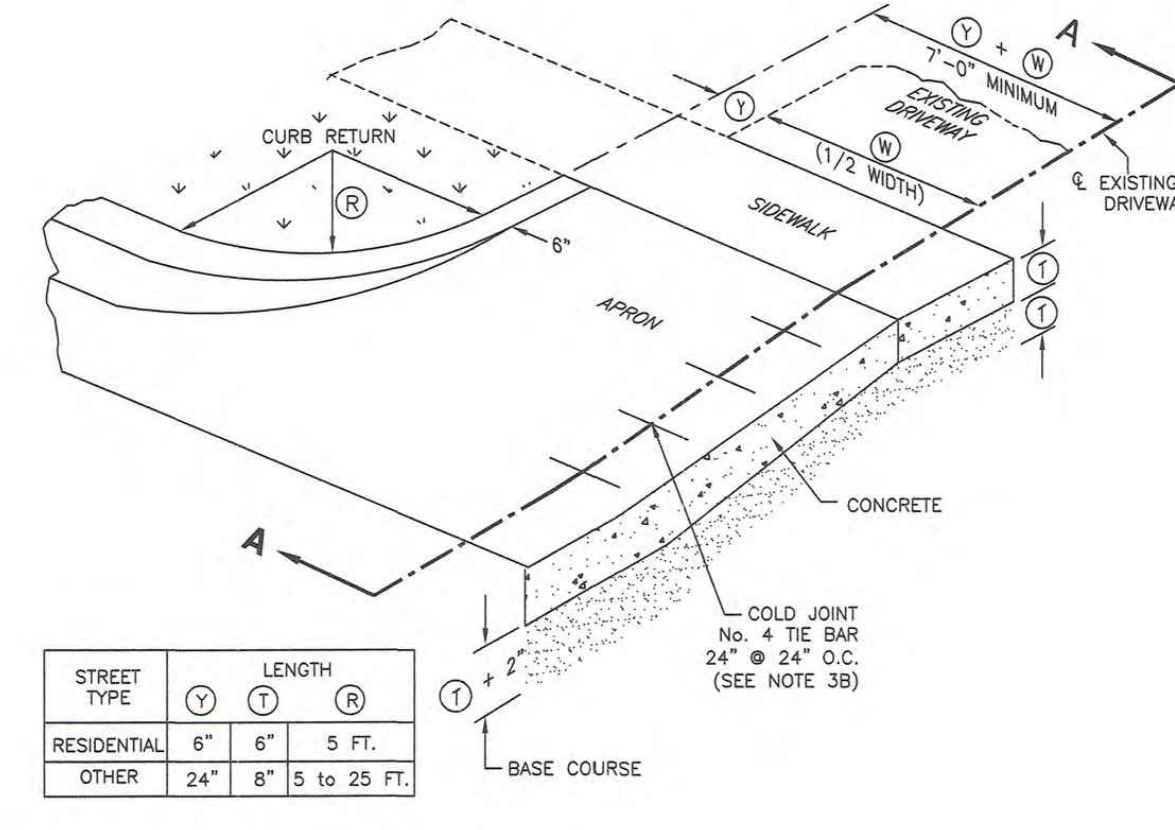
SECTION A-A



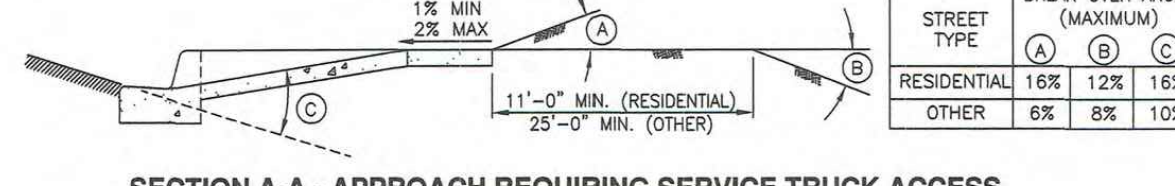
SECTION B-B

SIDEWALK JOINT DETAIL

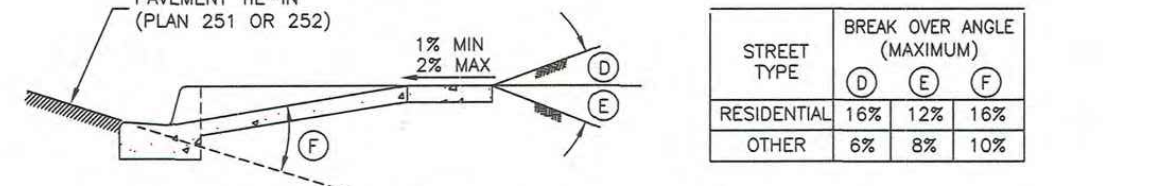
Sidewalk
Plan 231
March 2009



OBLIQUE

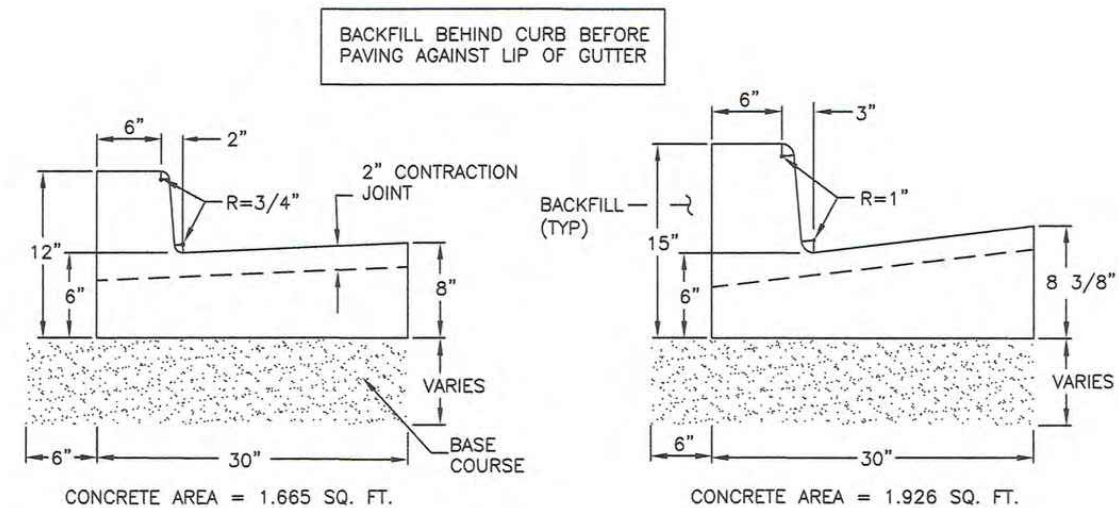


SECTION A-A - APPROACH REQUIRING SERVICE TRUCK ACCESS



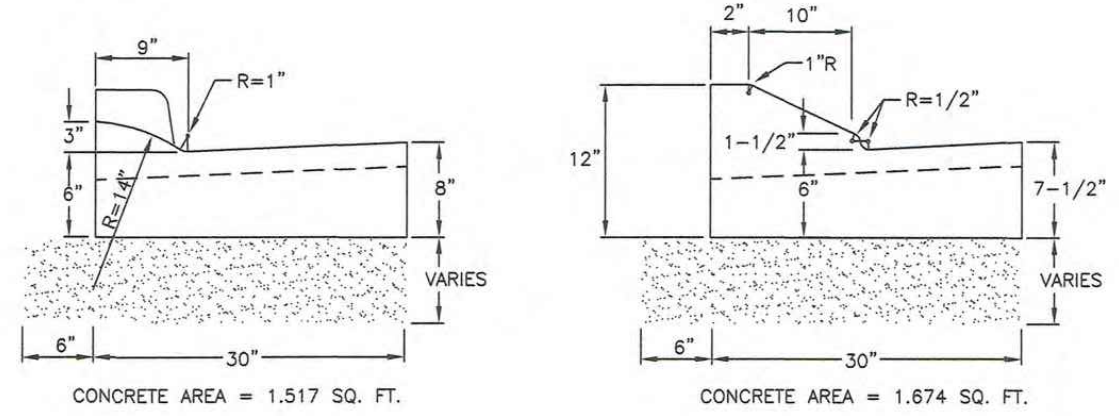
SECTION A-A - TYPICAL DRIVEWAY APPROACH

Open driveway approach
Plan 225
December 2009



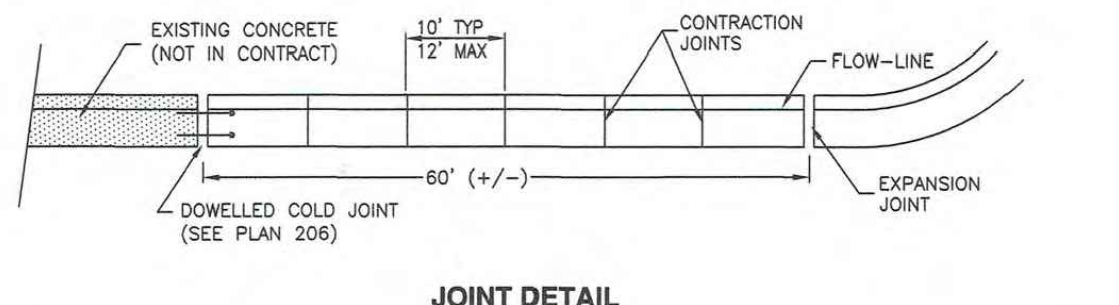
Type A

Type B



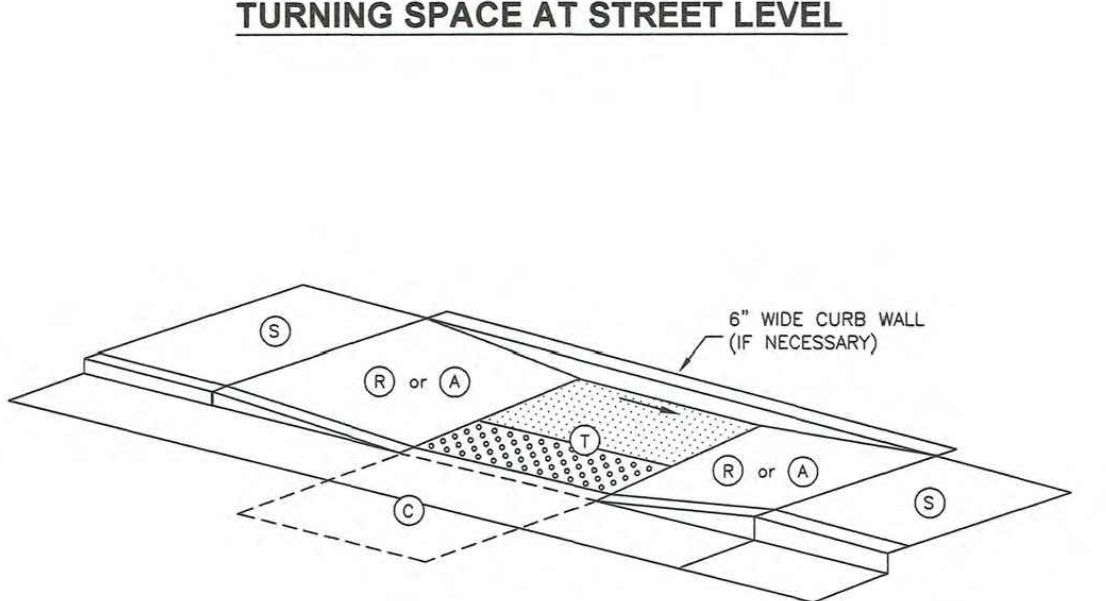
Type C

Type D

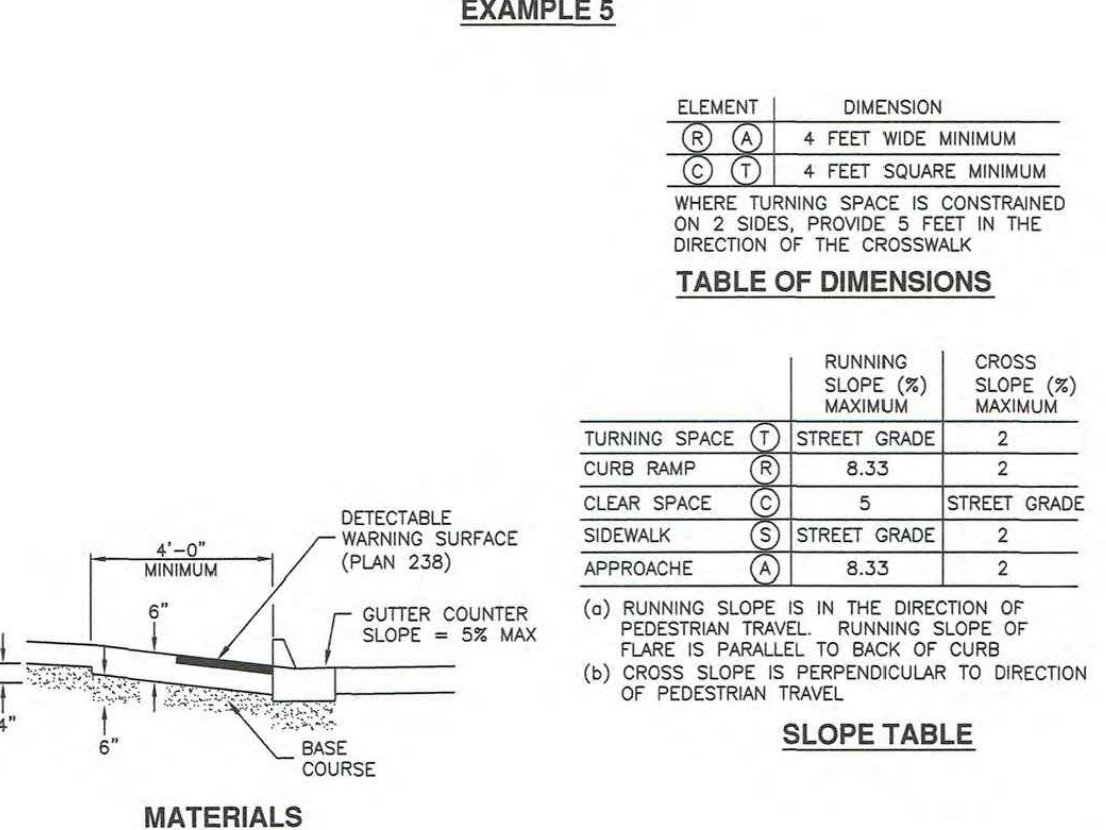


JOINT DETAIL

Curb and gutter
Plan 205.1
December 2008



TURNING SPACE AT STREET LEVEL



EXAMPLE 5

ELEMENT	DIMENSION
(B) (A)	4 FEET WIDE MINIMUM
(C) (T)	4 FEET SQUARE MINIMUM

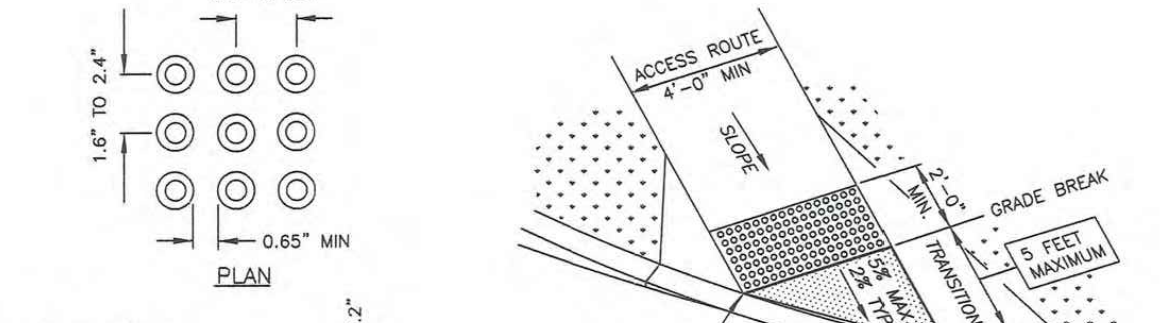
WHERE TURNING SPACE IS CONSTRAINED ON 2 SIDES, PROVIDE 5 FEET IN THE DIRECTION OF THE CROSSWALK

	RUNNING SLOPE (X)	CROSS SLOPE (Y)
TURNING SPACE (T)	STREET GRADE	2
CURB RAMP (B)	8.33	2
CLEAR SPACE (C)	5	STREET GRADE
SIDEWALK (S)	STREET GRADE	2
APPROACH (A)	8.33	2

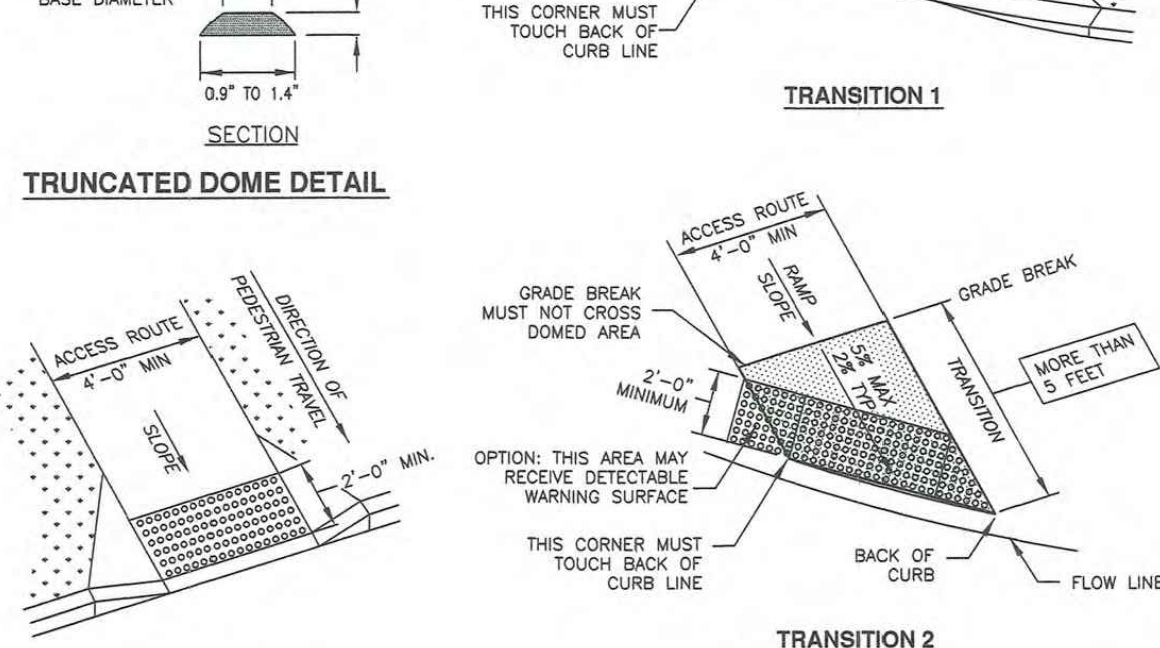
(a) RUNNING SLOPE IS IN THE DIRECTION OF PEDESTRIAN TRAVEL. RUNNING SLOPE OF FLARE IS PARALLEL TO BACK OF CURB
(b) CROSS SLOPE IS PERPENDICULAR TO DIRECTION OF PEDESTRIAN TRAVEL

SLOPE TABLE

Mid-block curb cut assembly
Plan 236.3
September 2011

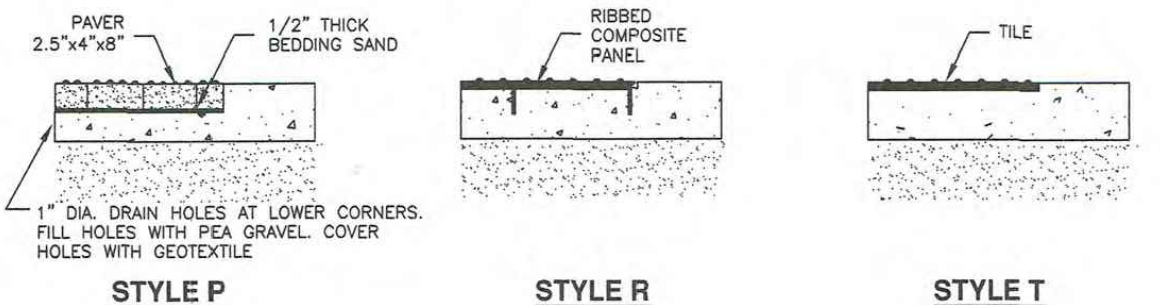


TRUNCATED DOME DETAIL



PERPENDICULAR ASSEMBLY

NON-PERPENDICULAR ASSEMBLY

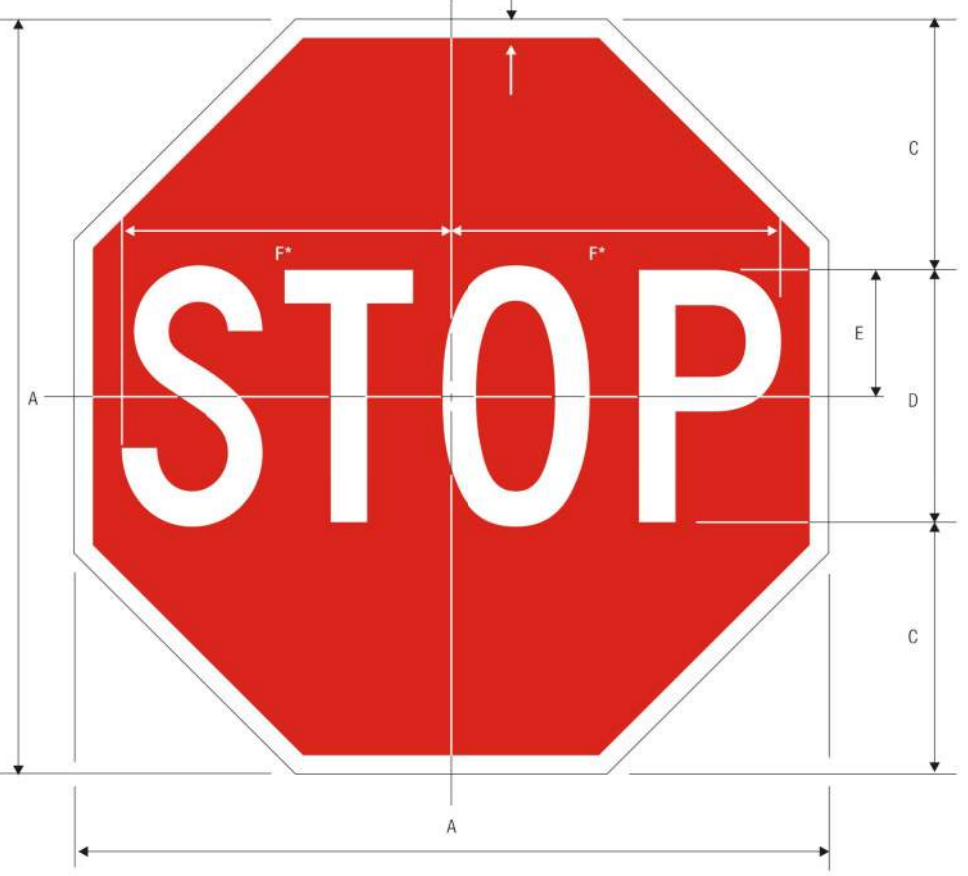


STYLE P

STYLE R

STYLE T

Detectable warning surface
Plan 238
July 2011

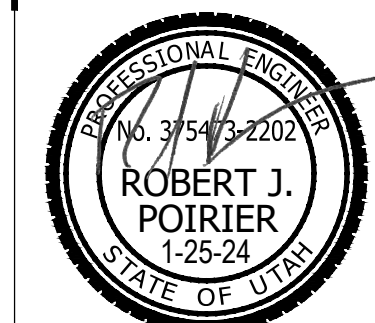


REV	DATE	DESCRIPTION

A	B	C	D	E	F
18	375	6	6	3	775
24	825	8	8	4	10
30	75	10	10	5	12.5
36	875	12	12	6	15
48	1.25	16	16	8	20

COLORS: LEGEND - WHITE (RETROREFLECTIVE)
BACKGROUND - RED (RETROREFLECTIVE)

1-1



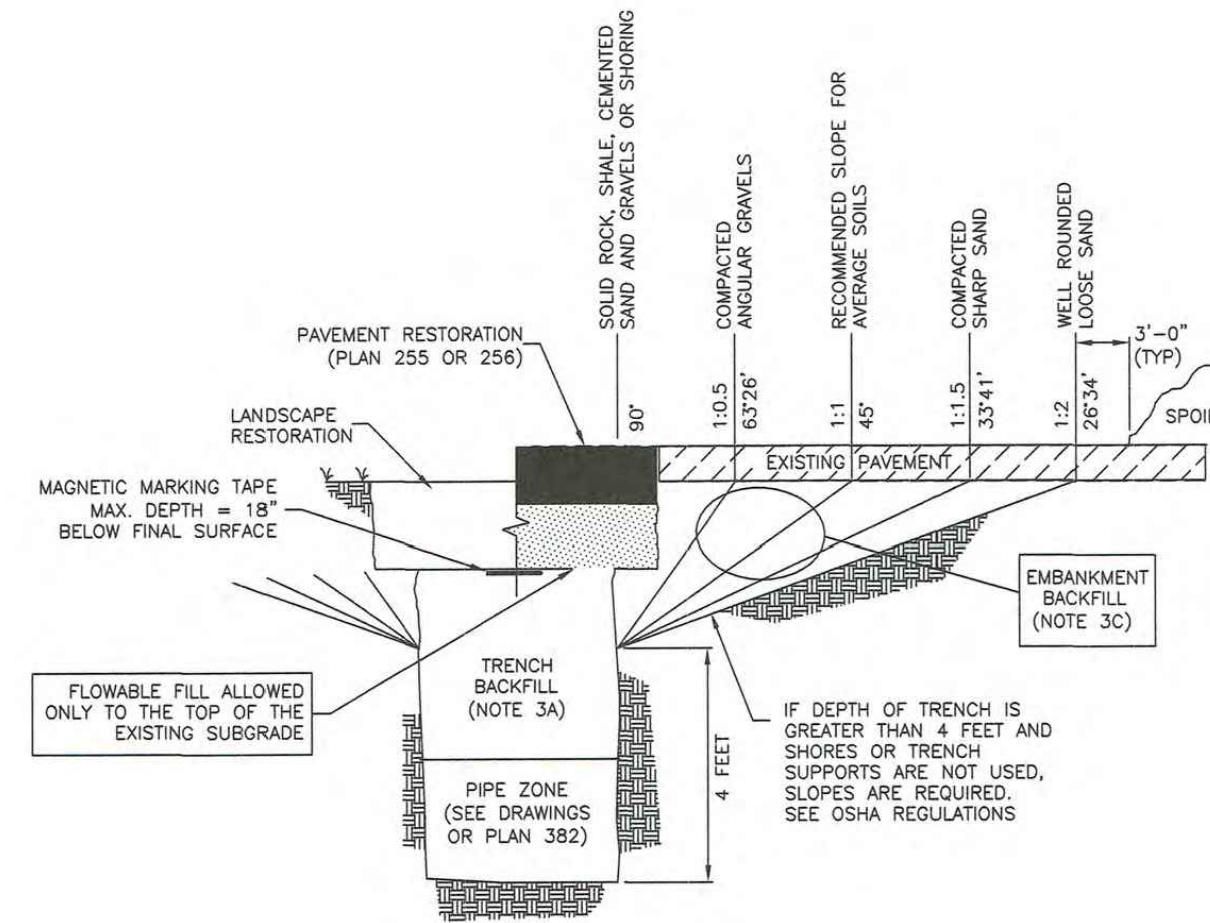
REV	DATE	DESCRIPTION

PROJECT NO: 23630
DRAWN BY: RJP
CHECKED BY: RJP
DATE: 1-25-24

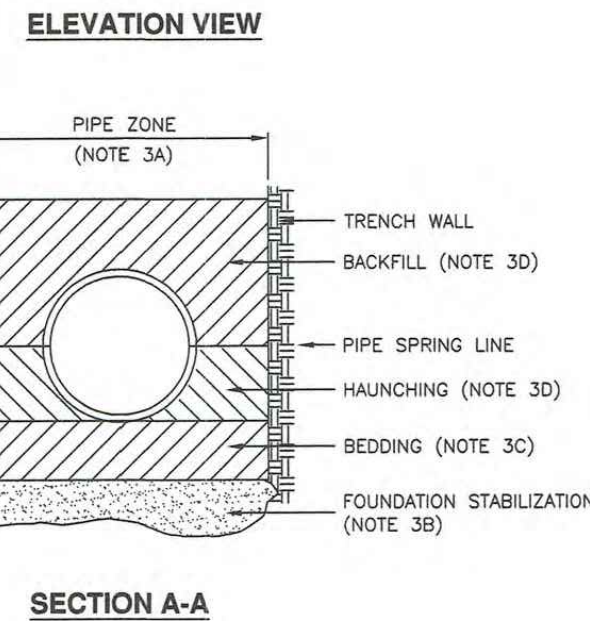
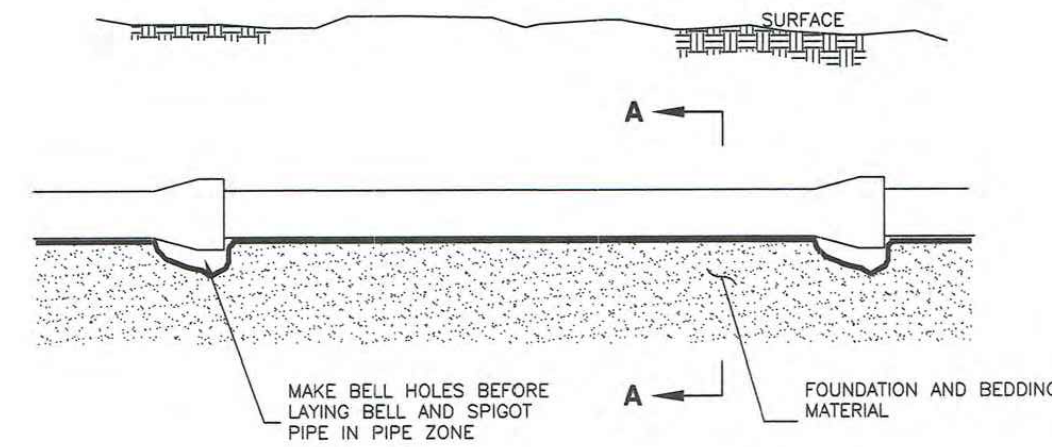
CIVIL DETAILS

C5.01

NARRATIVE: THIS PLAN SHOWS VARIOUS SLOPES RECOMMENDED FOR VARIOUS TYPES OF SLOPE STABILITY PROBLEMS. THE VERTICAL TEXT INDICATES VARIOUS MATERIALS THAT MAY BE ENCOUNTERED. THE SERVICES OF A PROFESSIONAL SOILS ENGINEER SHOULD BE USED TO VERIFY SLOPE STABILITY.

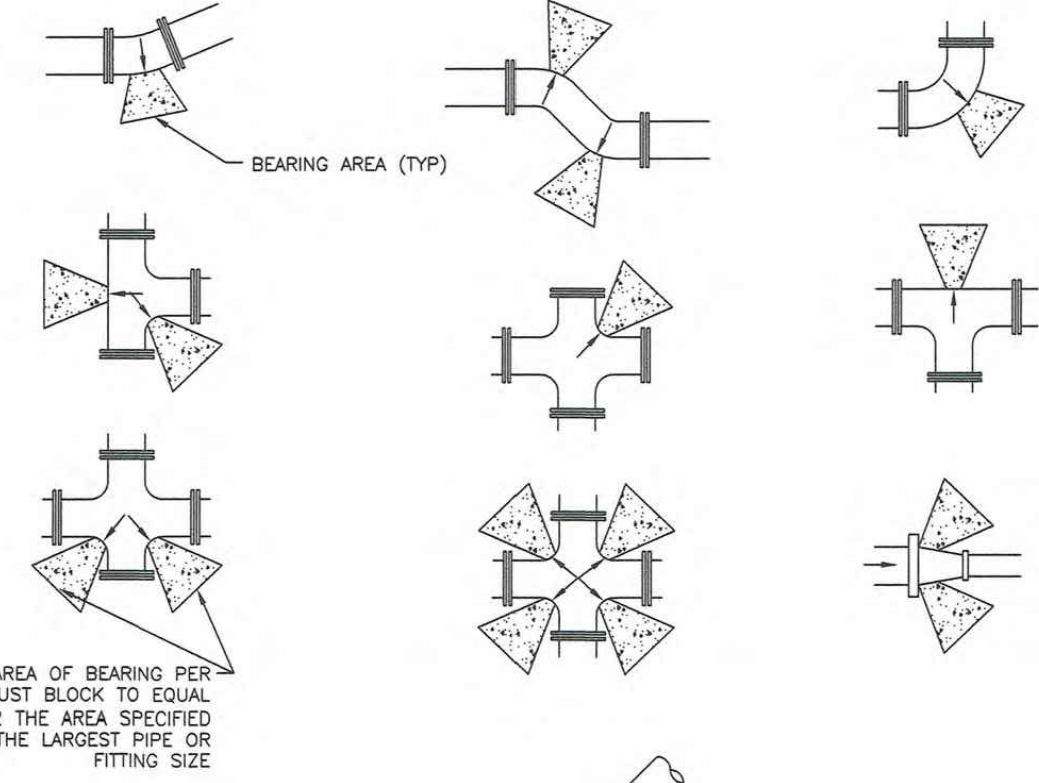


APWA Utah Chapter **Trench backfill** Plan **381** July 2018



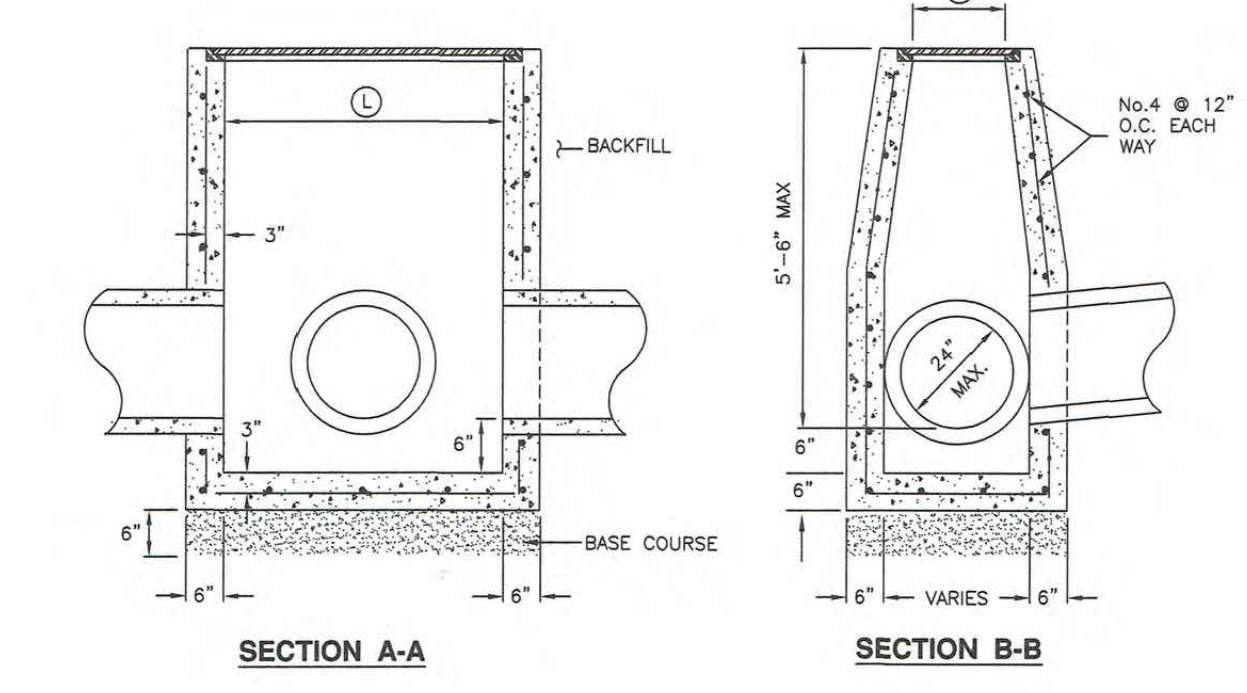
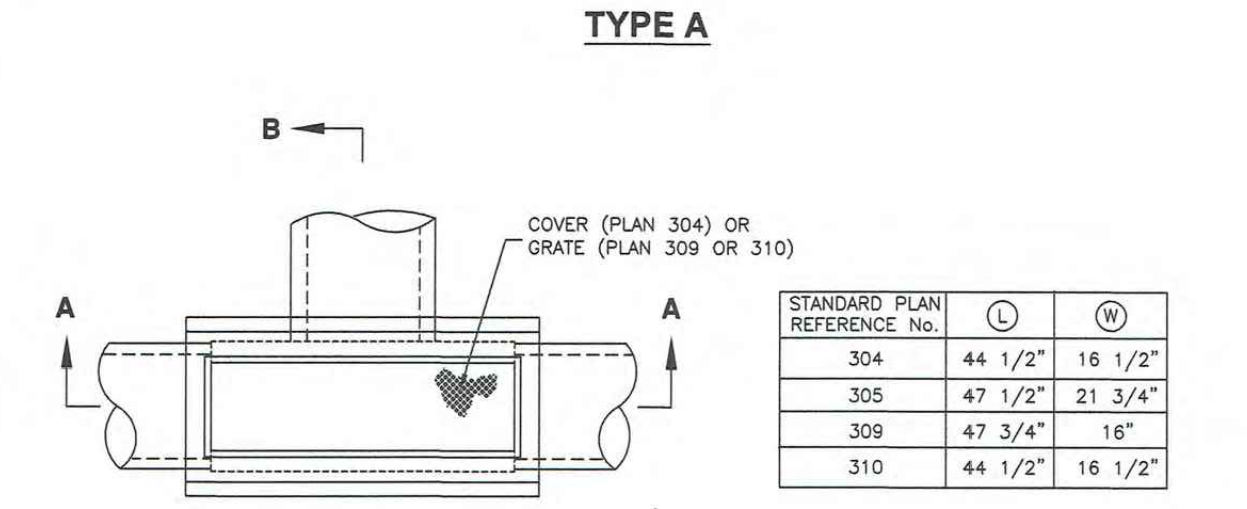
INSTALLATION
 CONCRETE PIPE: FOLLOW ASTM C 1479 "STANDARD PRACTICE FOR INSTALLATION OF PRECAST CONCRETE SEWER, STORM DRAIN, AND CULVERT PIPE USING STANDARD INSTALLATIONS."
 PLASTIC PIPE: FOLLOW ASTM D 2321 "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY-FLOW APPLICATIONS."
 CORRUGATED METAL PIPE: FOLLOW ASTM A 798 "STANDARD PRACTICE FOR INSTALLING FACTORY-MADE CORRUGATED STEEL PIPE FOR SEWERS AND OTHER APPLICATIONS."
 VITRIFIED CLAY PIPE: FOLLOW ASTM C 12 "STANDARD RECOMMENDED PRACTICE FOR INSTALLING VITRIFIED CLAY PIPE LINES."

APWA Utah Chapter **Pipe zone backfill** Plan **382** January 2011



SIZE OF PIPE (DIA. MINUS BELL AND SPIGOT)	90° BENDS	45° BENDS	22 1/2° BENDS	11 1/4° BENDS
4"	2	2	2	2
6"	4	3	2.5	2
8"	6.5	5	2.75	2.5
12"	14	11	5.5	3
14"	19	14.5	7.5	4
16"	24	18.5	9.5	6
20"	27	28.5	14.5	9
24"	53	74	41	21
30"	81	114	62	32

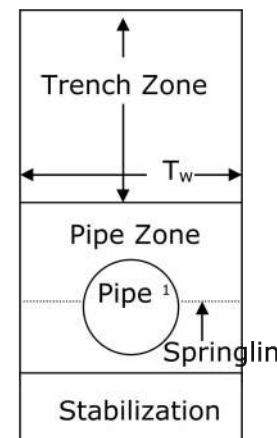
APWA Utah Chapter **Direct bearing thrust block** Plan **561** August 2010



APWA Utah Chapter **Cleanout box** Plan **331.1** April 2010

STANDARD PRACTICE #1
SALT LAKE CITY PUBLIC UTILITY

TO: All contractors doing work for SLCPU
FROM: Charles H. Call, Jr., P.E., Chief Engineer
DATE: January 14, 2010
SUBJECT: Trench Backfill Requirements (APWA Section 33 05 20)



Trench Zone Material
 2-inch minus - Granular Backfill Borrow (APWA 31 05 13)
 Notes: Material must be free of slag or recycled asphalt. Material can be 2-inch minus pit run material.

Pipe Zone Material (12" above to 6" below the pipe)
 Dry conditions - Grade 3/4 UTBC (APWA 32 11 23) 2
 Wet conditions - 2" minus sewer rock (APWA 31 05 13) 3
 Note: Material must be free of slag or recycled asphalt.

Stabilization Material (starts 6" below pipe)
 2" minus sewer rock (APWA 31 05 13)
 Note: Material must be free of slag or recycled asphalt.

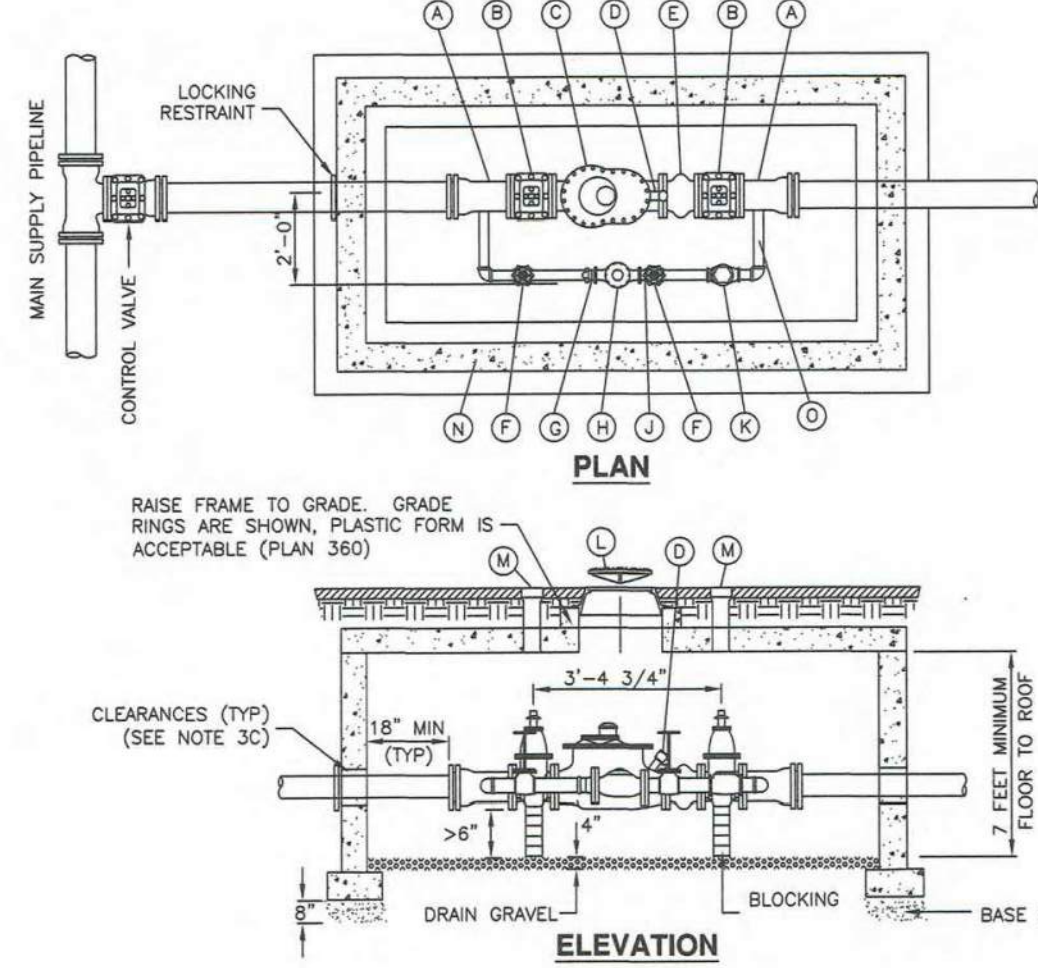
Table 1 - Pipe zone material and minimum pipe zone width.

Pipe Material	Pipe Zone Material	Min. Pipe Zone Top Width (Tw)
PVC	3/4" minus well graded 2	Tw = OD + 24" ≥ 36"
HDPE-N12	3/4" minus well graded 3	Tw = OD + 24" ≥ 36"
DI	3/4" minus well graded 2	Tw = OD + 24" ≥ 36"
Concrete	3/4" minus well graded 2	Tw = OD + 24" ≥ 36"

- Center pipe in trench.
- Variations must be approved in advance by Chief Engineer.
- 2" minus sewer rock can be used in areas below water table when approved in advance by Chief Engineer.
- Outside diameter of the pipe.
- 2" minus material not permitted with PVC or HDPE pipe.

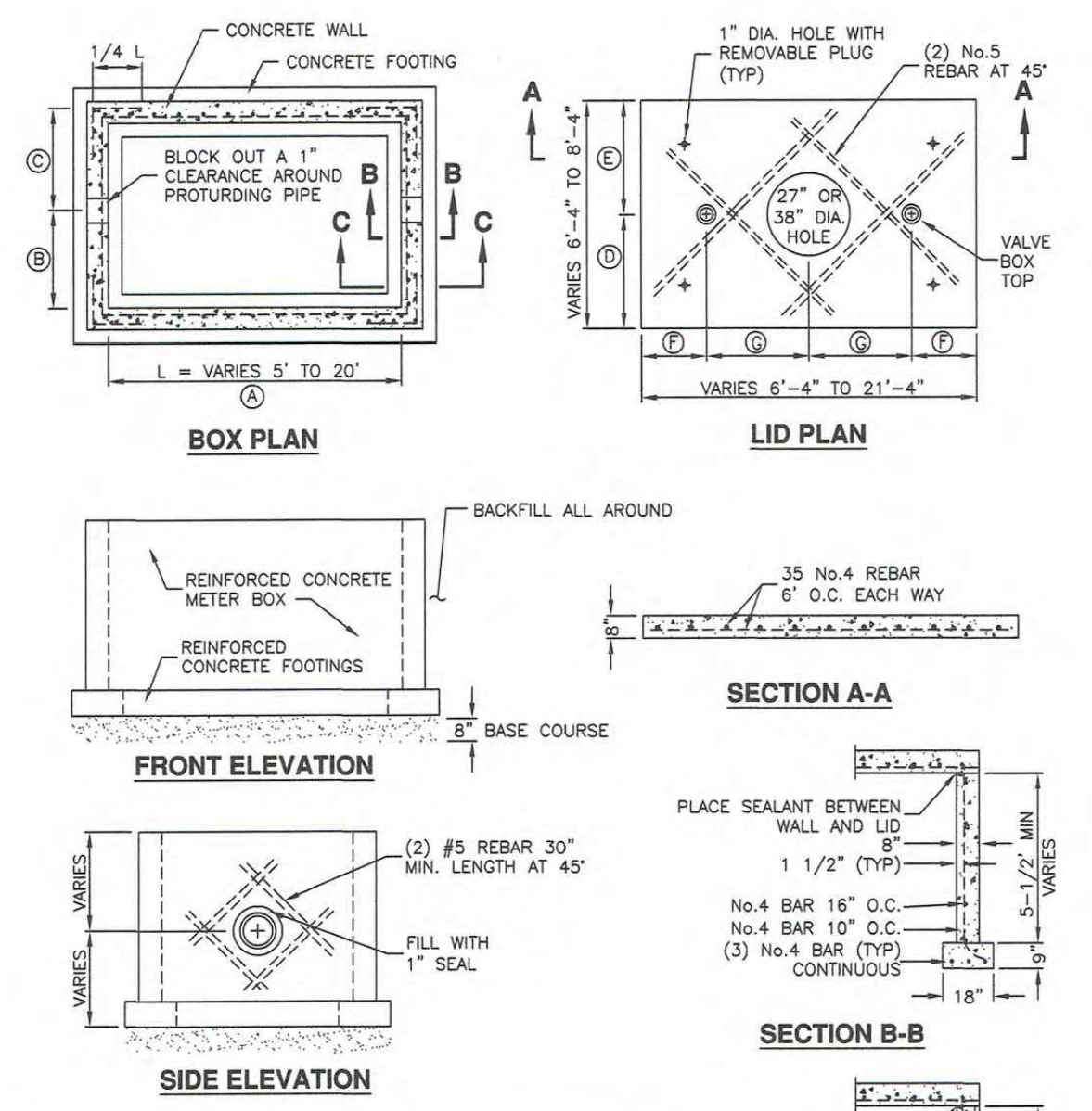
SLCPU Standard Practice 1 1/5/2009

APWA Utah Chapter **Sewer lateral connection** Plan **431** January 2011



No.	ITEM	DESCRIPTION
(A)	3" OR 4" FLANGE x M.J. ADAPTER	
(B)	3" OR 4" GATE VALVE WITH 2"x2" OPERATING NUT	
(C)	3" OR 4" COMPOUND METER	
(D)	2" TEST ASSEMBLY	
(E)	3" OR 4" CHECK VALVE	
(F)	2" GATE VALVE	
(G)	2" METER FLANGE	
(H)	2" DISPLACEMENT METER	
(I)	2" MALE METER FLANGE	
(J)	2" CHECK VALVE	
(K)	2" FRAME AND COVER	PLAN 502
(L)	TOP SECTION OF VALVE BOX WITH LID	PLAN 574
(M)	CONCRETE BOX	PLAN 505
(N)	COPPER PIPING	

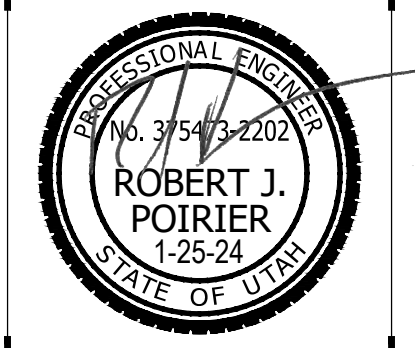
APWA Utah Chapter **3" and 4" Compound meter with 2" bypass** Plan **523** August 2001



No.	10"	8"	6"	3" & 4"	1 1/2" & 2"
(A)	20'-0"	11'-0"	11'-0"	9'-0"	5'-0"
(B)	3'-10"	3'-5"	3'-5"	3'-0"	2'-5"
(C)	6'-2"	3'-5"	3'-5"	2'-0"	2'-6"
(D)	4'-6"	4'-1"	4'-1"	3'-8"	2'-6"
(E)	8'-10"	4'-1"	4'-1"	2'-8"	2'-6"
(F)	4'-8"	3'-5 3/4"	3'-10 1/4"	3'-5 1/2"	CENTER
(G)	5'-4"	2'-8 1/4"	2'-3 3/4"	1'-8 1/2"	

APWA Utah Chapter **Concrete meter boxes** Plan **505** August 2001

MCNEIL ENGINEERING
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 Civil Engineering • Consulting & Landscape Architecture
 Structural Engineering • Land Surveying & HDS



ALTA NORTH STATION APARTMENTS
 NORTH TEMPLE STREET
 SALT LAKE CITY, UTAH

REV	DATE	DESCRIPTION

PROJECT NO: 23630
 DRAWN BY: RJP
 CHECKED BY: RJP
 DATE: 1-25-24

CIVIL DETAILS
C5.02

GENERAL NOTES - SITE PLAN

- A SEE GENERAL PROJECT NOTES, ROOF PLAN AND/OR FRAMING PLAN FOR ROOF PITCHES, ROOF BEARING AND STRUCTURAL REQUIREMENTS.
- B CONCRETE TO SLOPE AWAY FROM BUILDING AT 2% SLOPE MIN.
- C ALL CONCRETE STAIRS TO CONFORM TO I.B.C. REQUIREMENTS.
- D COORDINATE WITH CIVIL ENGINEERING DRAWINGS AND LANDSCAPE DRAWINGS FOR FINISH FLOOR ELEVATION OF BUILDING AND CUT AND FILL FOR SITE WORK.

PROJECT DESCRIPTION

ALTA NORTH STATION APARTMENTS IS A 100% AFFORDABLE HOUSING APARTMENT COMPLEX LOCATED AT 1865 WEST NORTH TEMPLE, SALT LAKE CITY WITH A TOTAL OF 307 UNITS. THE BUILDING LOCATION PROVIDES CONVENIENT ACCESS TO BOTH SALT LAKE CITY INTERNATIONAL AIRPORT AND DOWNTOWN SALT LAKE. A TRAX STATION IS LOCATED 0.1 MILES FROM THE BUILDING, PROVIDING PUBLIC TRANSPORTATION OPTIONS. THE REQUEST FOR ELONGATING THE BUILDING HAS BEEN ADDRESSED THROUGH INTERRUPTING THE FACADE WITH SPECIFICALLY PLACED INTERVENTIONS THAT BRING THE BUILDING MORE INTO THE HUMAN SCALE. THE PROPOSED ELONGATION ALLOWS MORE UNITS TO BE ADDED TO HELP WITH THE URBANIZATION OF THE AREA.

THE BUILDING WILL BE BUILT WITH A CONCRETE POST TENSION FOR THE FIRST, SECOND AND THIRD FLOOR, WITH 5 FLOORS OF WOOD FRAMING ABOVE AS A TYPE V-B CONSTRUCTION. THE EXTERIOR IS A NEUTRAL COLOR TEMPLATE, WITH BLACK, WHITE AND GRAY ALONG WITH BURNT ORANGE ACCENTS. THE BUILDING FACADE CONSISTS OF FIBER CEMENT, BRICK AND GLAZING.

PROJECT NARRATIVE

THE PROJECT IS LOCATED IN THE IN A TSA-MIXED USE EMPLOYMENT CENTER STATION. THIS BUILDING MATCHES THE CHARACTER OF THE AREA WITH ITS ACCESS TO PUBLIC TRANSPORTATION AND MYRIAD OF EMPLOYMENT OPTIONS. THE BUILDING IS IN A U SHAPE, WITH AN UPPER GREEN COURTYARD FACING WEST AWAY FROM THE STREETS. THE MASSING IS BROKEN UP VERTICALLY AND HORIZONTALLY THROUGH DESIGN ELEMENTS IN ORDER TO MAINTAIN A HUMAN SCALE ALONG THE STREET FACADES. THE BUILDING FORM FOLLOWS SIMILAR DESIGN PRINCIPLES TO THE MERIDIAN APARTMENT COMPLEX LOCATED ACROSS ORANGE STREET, AND ADDS TO THE GROWING TREND OF MIXED-USE HOUSING COMPLEXES THAT ARE BEING BUILT IN CLOSE PROXIMITY TO TRAX LINES. THIS APARTMENT COMPLEX WILL PROVIDE MUCH NEEDED HOUSING FOR BOTH THE GROWING AREA AND DOWNTOWN SALT LAKE CITY.

ZONE: TSA-MUEC-C
SITE AREA: 196,264 S.F. (4.51 ACRES)

BUILDING HEIGHT: 75' MAX. + 1 STORY WITH ADMIN. REVIEW ELIGIBILITY
BUILDING SETBACK: NORTH TEMPLE: 5' MIN. 50% TO BE AT 5'
ORANGE STREET: 15' MAX. SETBACK
NO MINIMUM
50% FACADE WITHIN 5' OF PROPERTY LINE

OPEN SPACE: 5,000 S.F. REQUIRED

CIRCULATION AND CONNECTIVITY SHALL BE EASILY RECOGNIZABLE, FORMALIZED, AND INTERCONNECTED.
PARKING PROHIBITED BETWEEN BUILDING AND PROPERTY LINE

GROUND FLOOR FOR NORTH TEMPLE: GROUND FLOOR BUILT TO ACCOMMODATE COMMERCIAL, INSTITUTIONAL, OR PUBLIC USE.
GROUND FLOOR MAY BE RESIDENTIAL IF IT IS DESIGNED TO BE CONVERTED TO COMMERCIAL INCLUDING:
MIN. OF 12' IN HEIGHT
FACADE A MIN. OF 60% GLASS
EACH UNIT TO HAVE DIRECT ACCESS FROM SIDEWALK
EACH GROUND FLOOR UNIT TO BE ADA ACCESSIBLE
EACH GROUND FLOOR UNIT TO INCLUDE A PORCH, PATIO, OR STOOP A MIN OF 5' IN DEPTH.

DESIGN STANDARDS:
GROUND FLOOR USE: 80% OF GROUND FLOOR TO BE 25' DEEP, MIN.
NORTH TEMPLE:
ORANGE STREET:
40' BETWEEN BUILDING ENTRANCES
MAX. BLANK WALL: 15'
STREET FACING FACADE: 200' MAX.

UNIT COUNT:

BUILDING 1

LEVEL	STUDIO (325 S.F.)	1-BED (610 S.F.)	2-BED (1,075 S.F.)	3-BED (1,800 S.F.)	TOTAL
1	0	4	0	4	8
2	0	4	2	0	6
3	28	15	5	0	48
4	29	15	5	0	49
5	29	15	5	0	49
6	29	15	5	0	49
7	29	15	5	0	49
8	29	15	5	0	49
TOTAL	173	98	32	4	307

OFF STREET PARKING REQUIRED:

NO PARKING MINIMUMS
PARKING MAXIMUM:
STUDIO: 1 STALL/UNIT
1-BED: 2 STALLS/UNIT
2+BED: 3 STALLS/UNIT

1 STALL FOR ELECTRICAL VEHICLES PER 25 STALLS PROVIDED
BICYCLE PARKING: 1 PER 3 UNITS
SECURE/ENCLOSED PARKING COUNTS FOR 2 SPACES

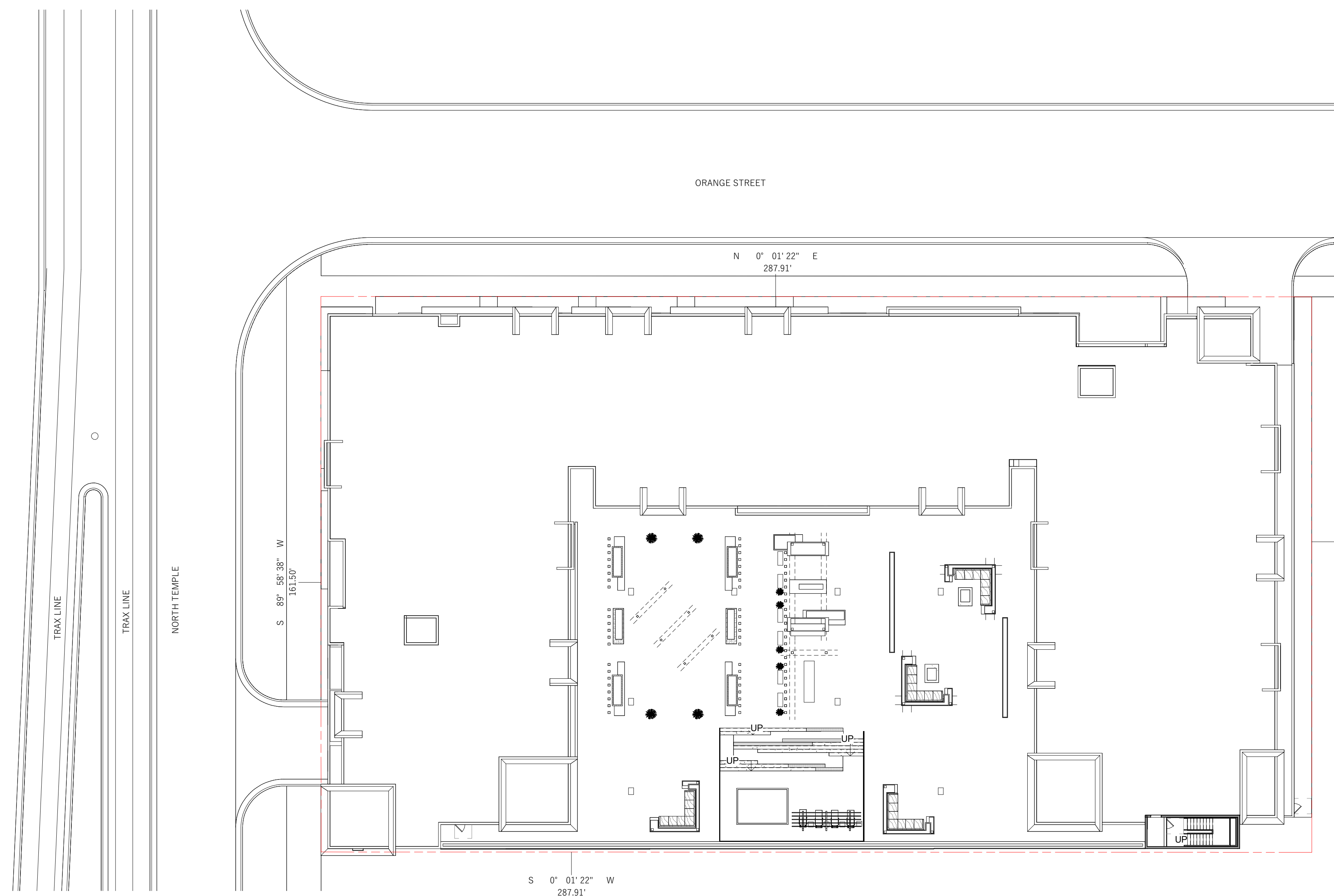
PARKING LOTS TO BE LOCATED 60' FROM INTERSECTION
PARKING LOT TO BE LOCATED BEHIND OR TO SIDE OF PRINCIPAL BUILDING
WHEN AT SIDE OF BUILDING: MIN. OF 30' FROM PROPERTY LINE WITH ACTIVE SPACE
PARKING SCREENED WITH LANDSCAPE HEDGE AT 36"-42".
NO WIDER THAN 2 ROWS OF PARKING AND 1 DRIVE AISLE.
MAX. OF ONE DRIVEWAY PER STREET FRONTAGE LOCATED A MIN. OF 100' FROM INTERSECTION.

OFF STREET LOADING AREAS:

LOADING BERTH TO BE 10' X 35' FOR SHORT BERTHS
NUMBER REQUIRED: 1 PER 200 UNITS

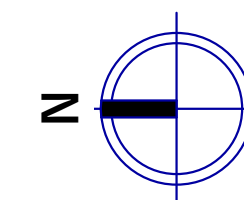
PARKING PROVIDED:

LEVEL 1: 64 STALLS
LEVEL 2: 55 STALLS
PHASE 1: 119 STALLS



LINETYPE LEGEND

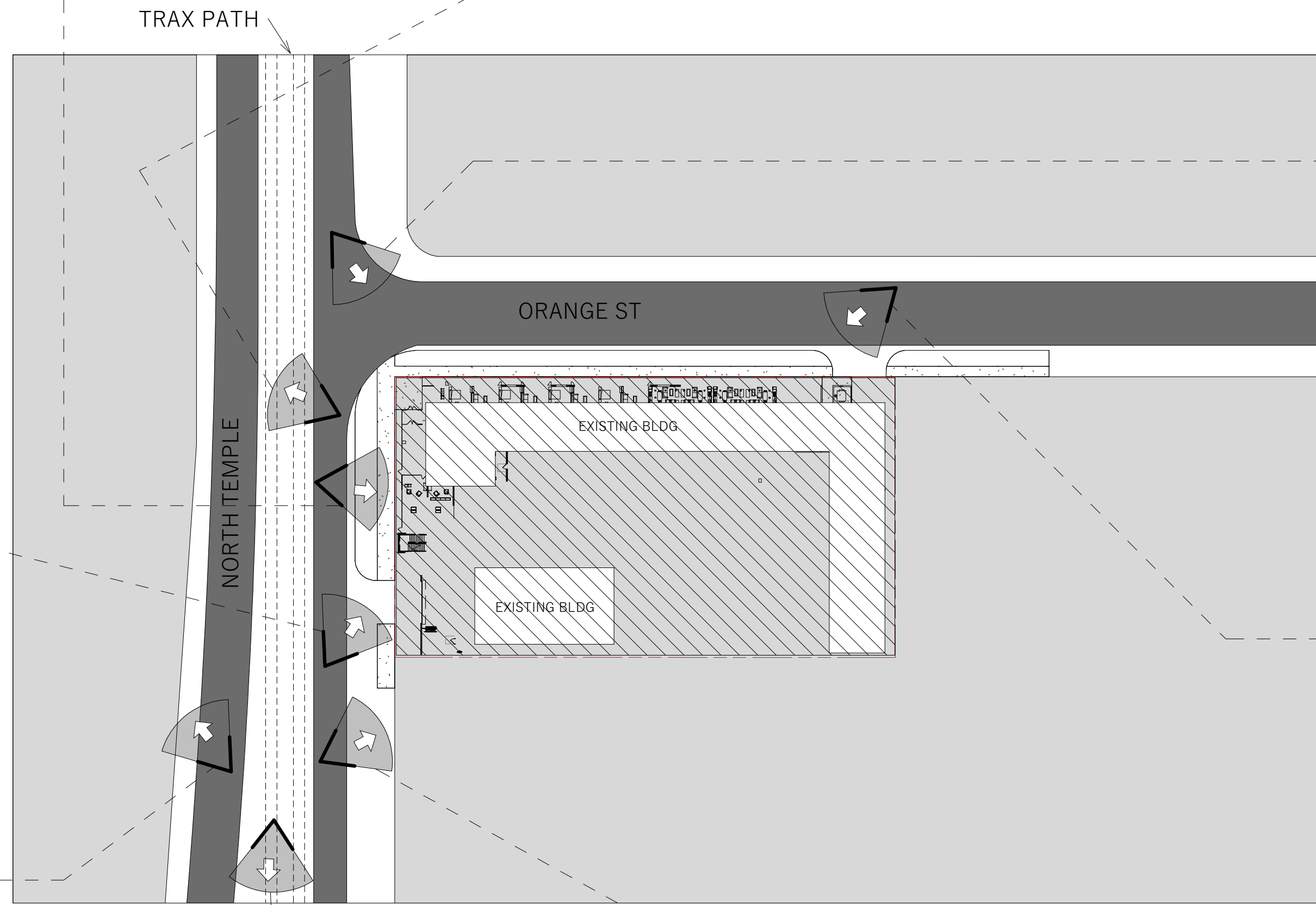
- PROPERTY LINE
- - - SITE SETBACK/EASEMENT LINES
- SITE FEATURES
- ROOF FEATURES
- MAJOR EXISTING TOPOGRAPHY
- MINOR EXISTING TOPOGRAPHY
- MAJOR PROPOSED TOPOGRAPHY
- MINOR PROPOSED TOPOGRAPHY



1 ARCHITECTURAL SITE PLAN
A0.1 1" = 20'-0"

1865 WEST NORTH TEMPLE, SALT LAKE CITY, UT
 ISSUED: JANUARY 26, 2024 CURRENT REVISION:
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SITE CHARACTERISTICS

A0.2



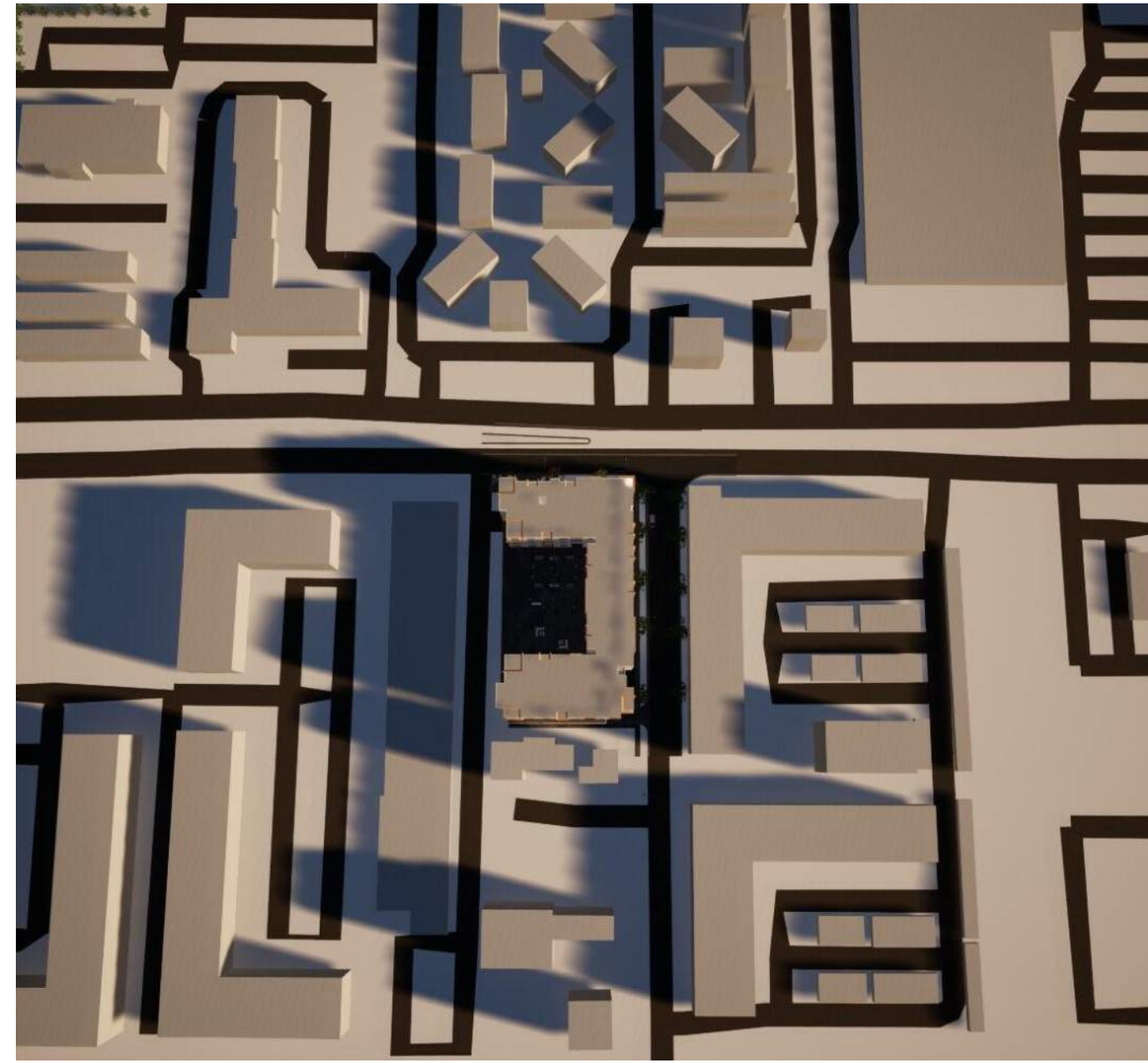
23071

ALTA NORTH STATION APARTMENTS

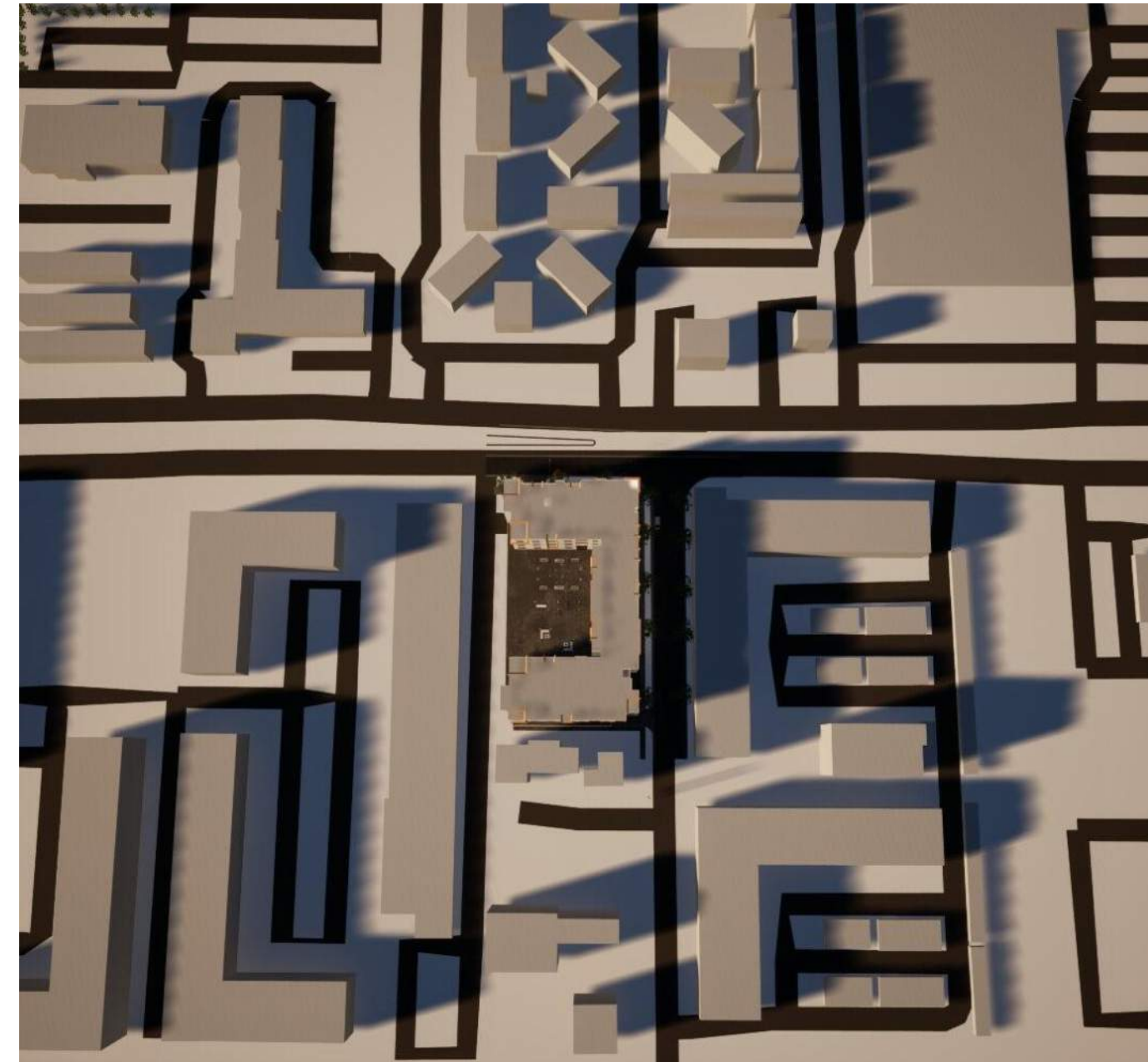
1865 WEST NORTH TEMPLE, SALT LAKE CITY, UT

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SPRING (MARCH)

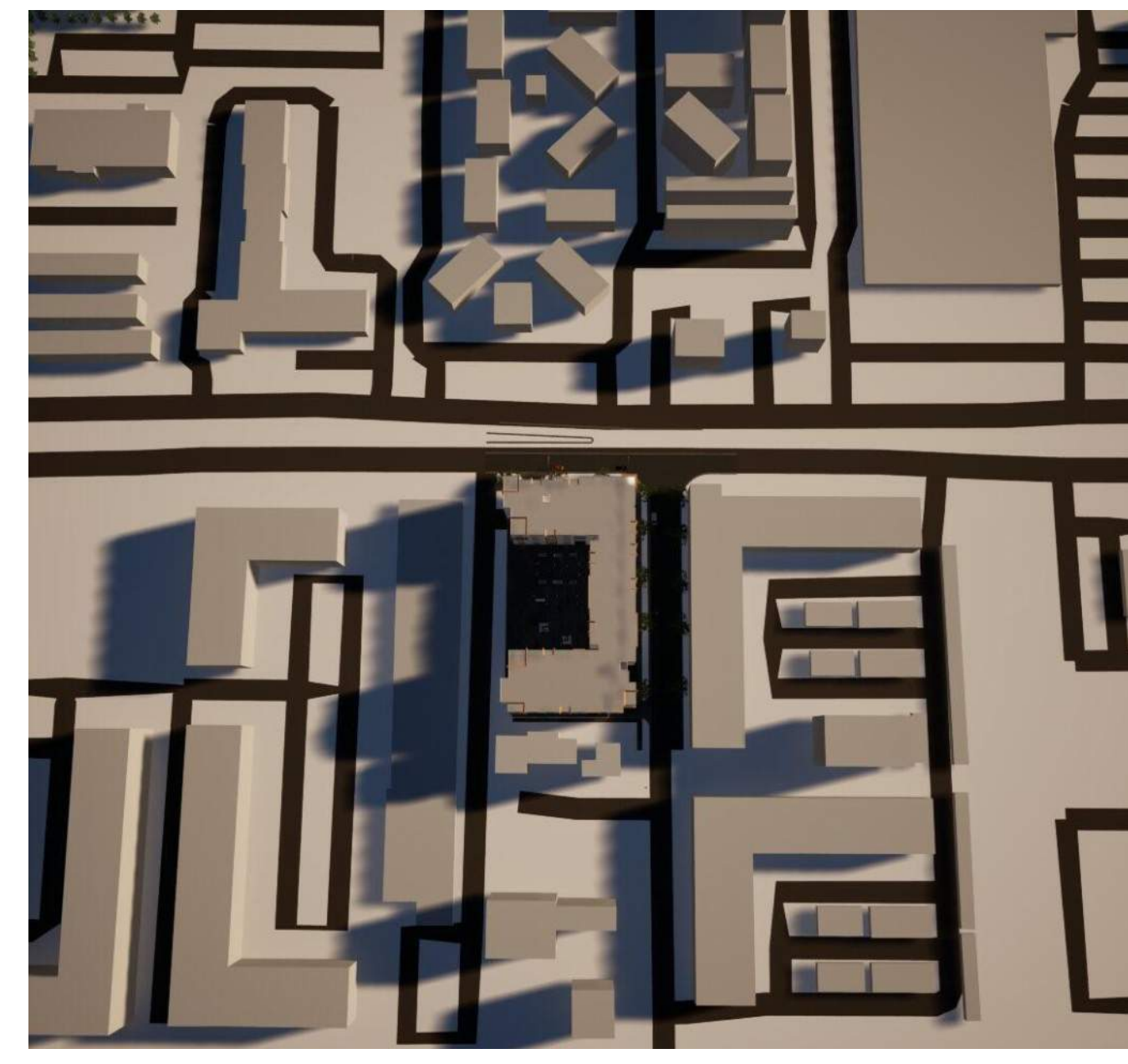


9 AM

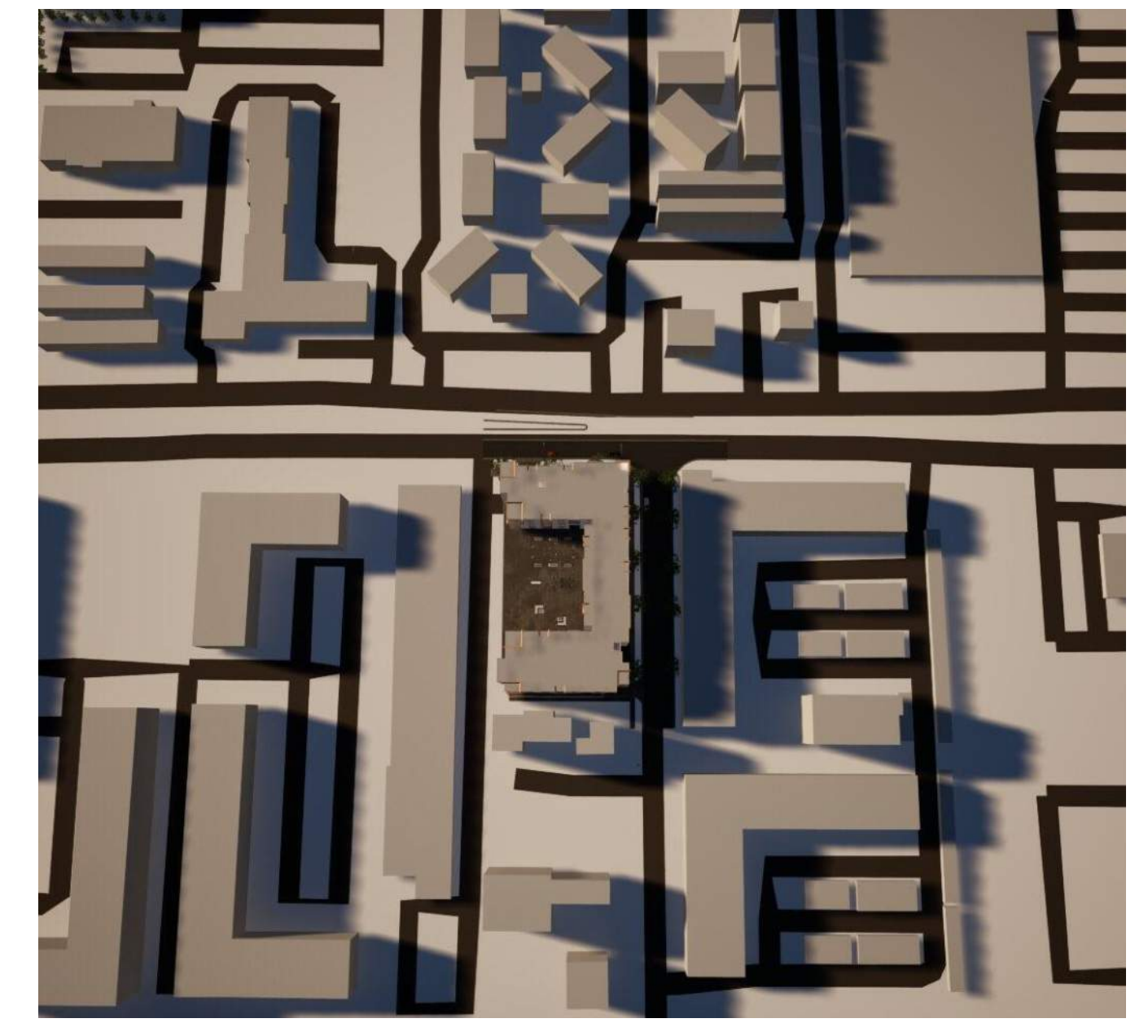


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SUMMER (JUNE)

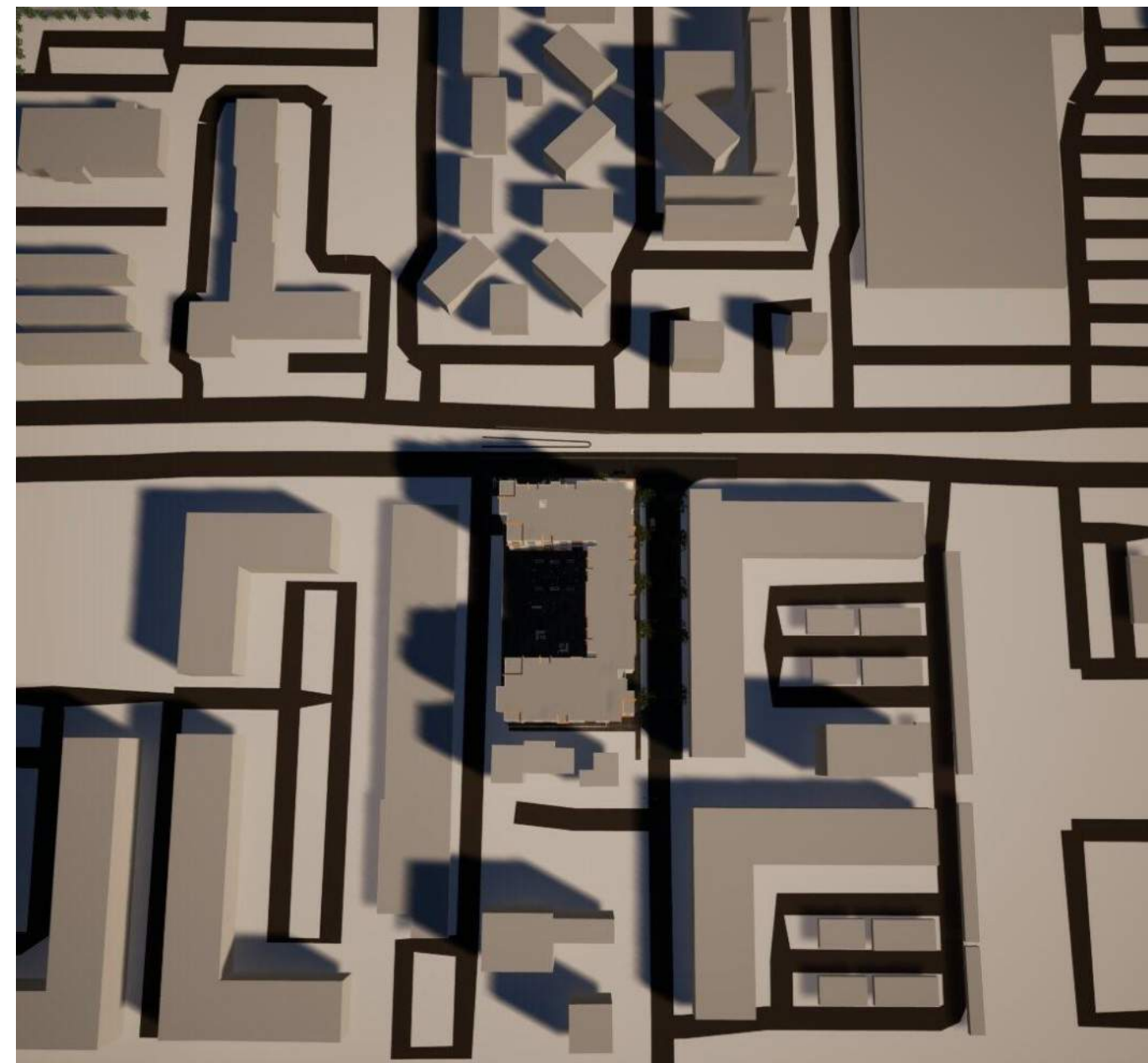


8 AM

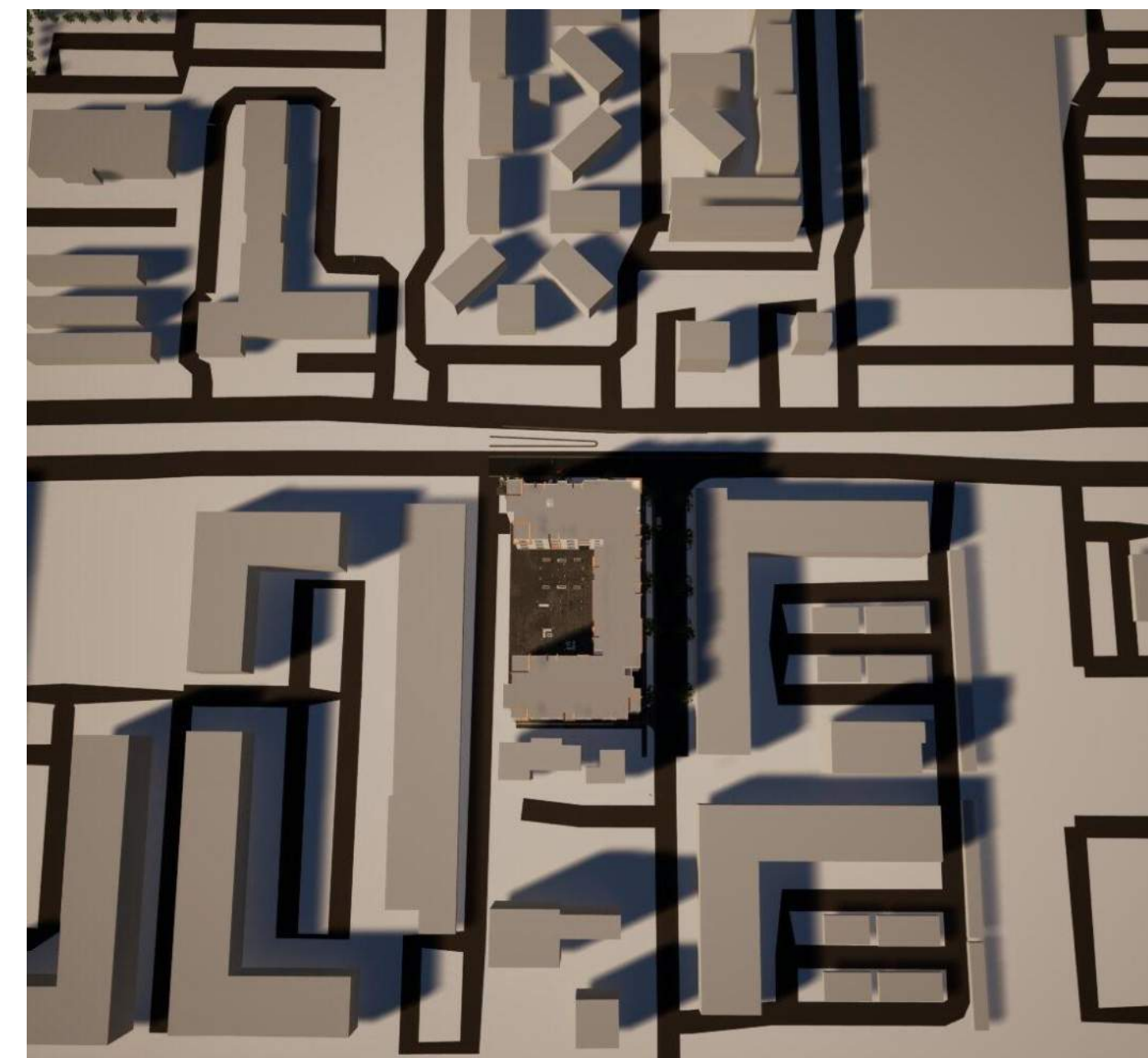


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FALL (SEPTEMBER)

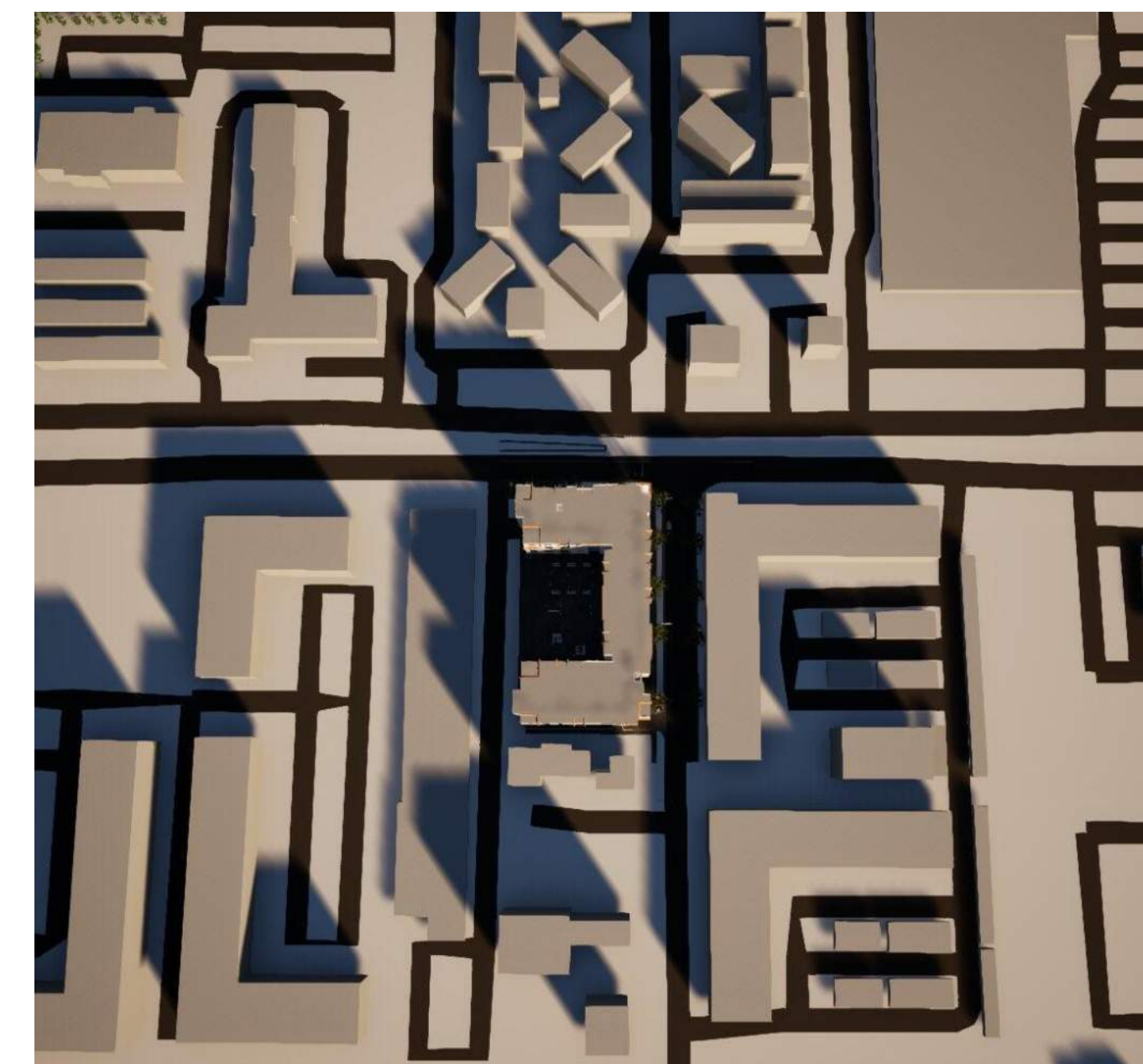


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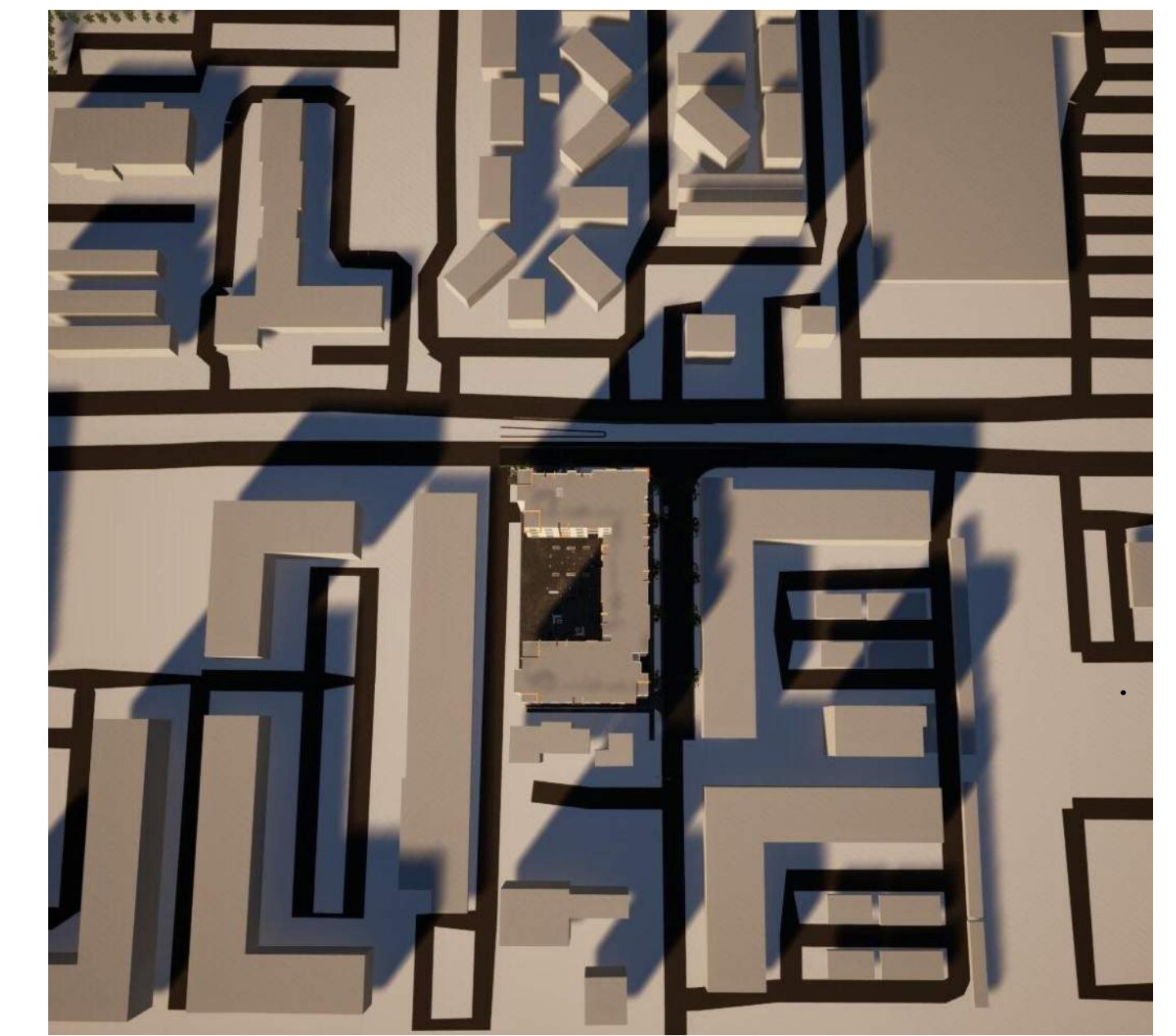


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WINTER (DECEMBER)



10 AM

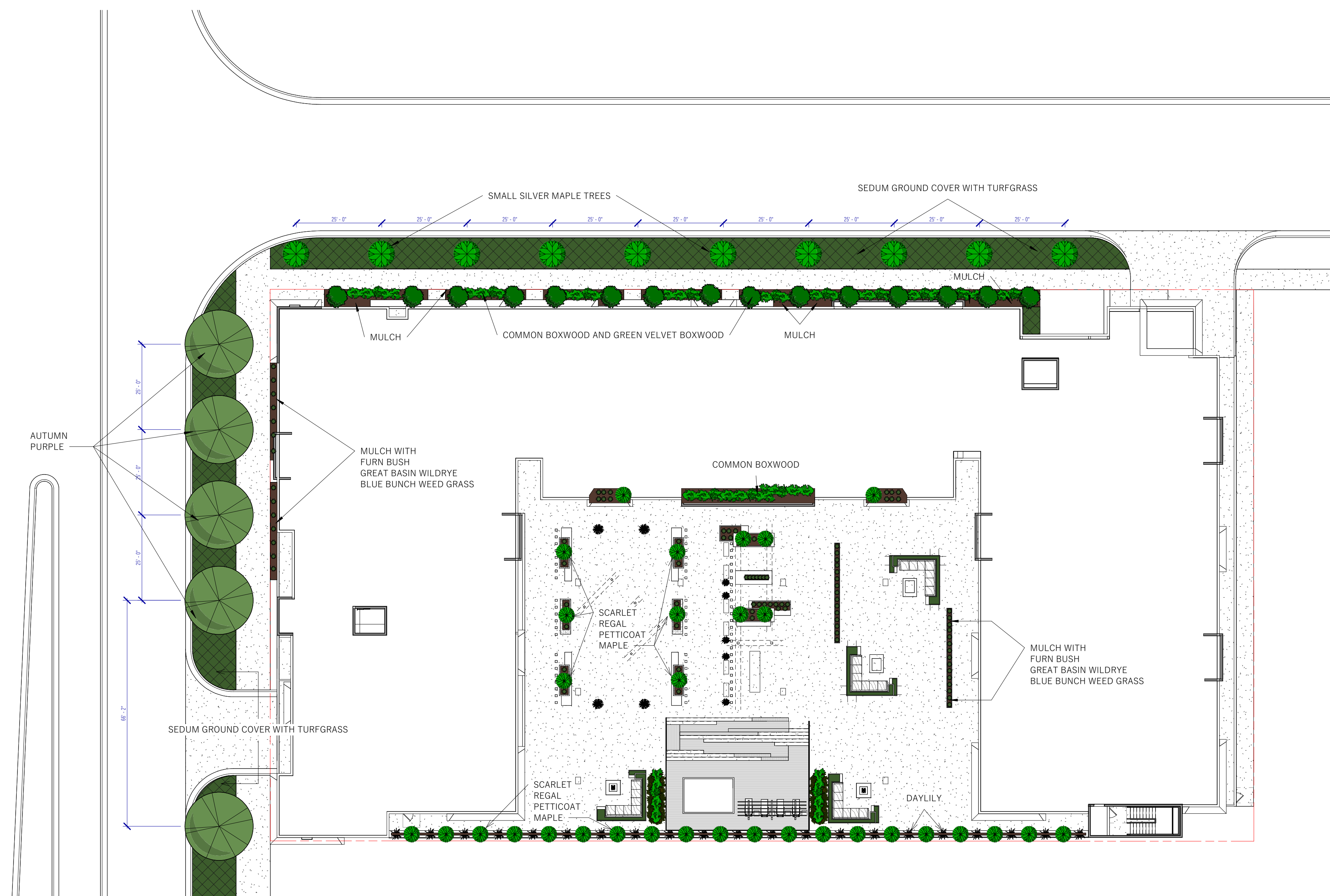


3 PM

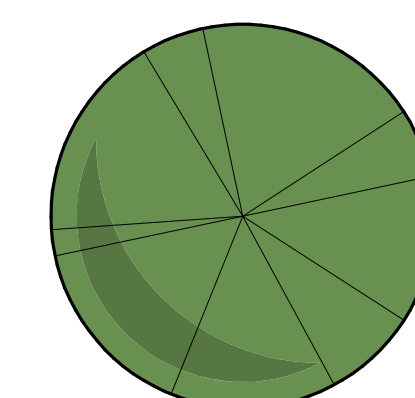
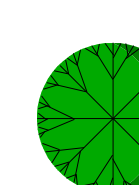










GENERAL NOTES - SITE PLAN

- A SEE GENERAL PROJECT NOTES, ROOF PLAN AND/OR FRAMING PLAN FOR ROOF PITCHES, ROOF BEARING AND STRUCTURAL REQUIREMENTS.
- B CONCRETE TO SLOPE AWAY FROM BUILDING AT 2% SLOPE MIN.
- C ALL CONCRETE STAIRS TO CONFORM TO I.B.C. REQUIREMENTS.
- D COORDINATE WITH CIVIL ENGINEERING DRAWINGS AND LANDSCAPE DRAWINGS FOR FINISH FLOOR ELEVATION OF BUILDING AND CUT AND FILL FOR SITE WORK.



PLANT LEGEND	SCALE: 1" = 10'-0"
--------------	-----------------------

-  AUTUMN PURPLE ASH
-  SILVER MAPLE TREES
-  GREEN VELVET BOXWOOD
-  COMMON BOXWOOD
-  SCARLET REGAL PETTICOAT MAPLE
-  MULCH WITH FURN BUSH GREAT BASIN WILDRIE BLUEBUNCH WEED GRASS
-  GRASS
-  MULCH
-  SEDUM GROUND COVER
-  TURFGRASS

1
A0.5  **LANDSCAPE LAYOUT PLAN**
1" = 20'-0"

1865 WEST NORTH TEMPLE, SALT LAKE CITY, UT
ISSUED: JANUARY 26, 2024 CURRENT REVISION:
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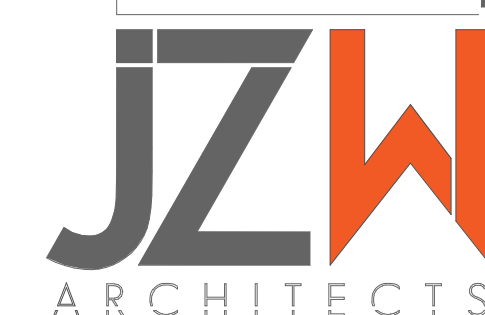
ALTA NORTH STATION APARTMENTS

23071



LANDSCAPE LAYOUT PLAN

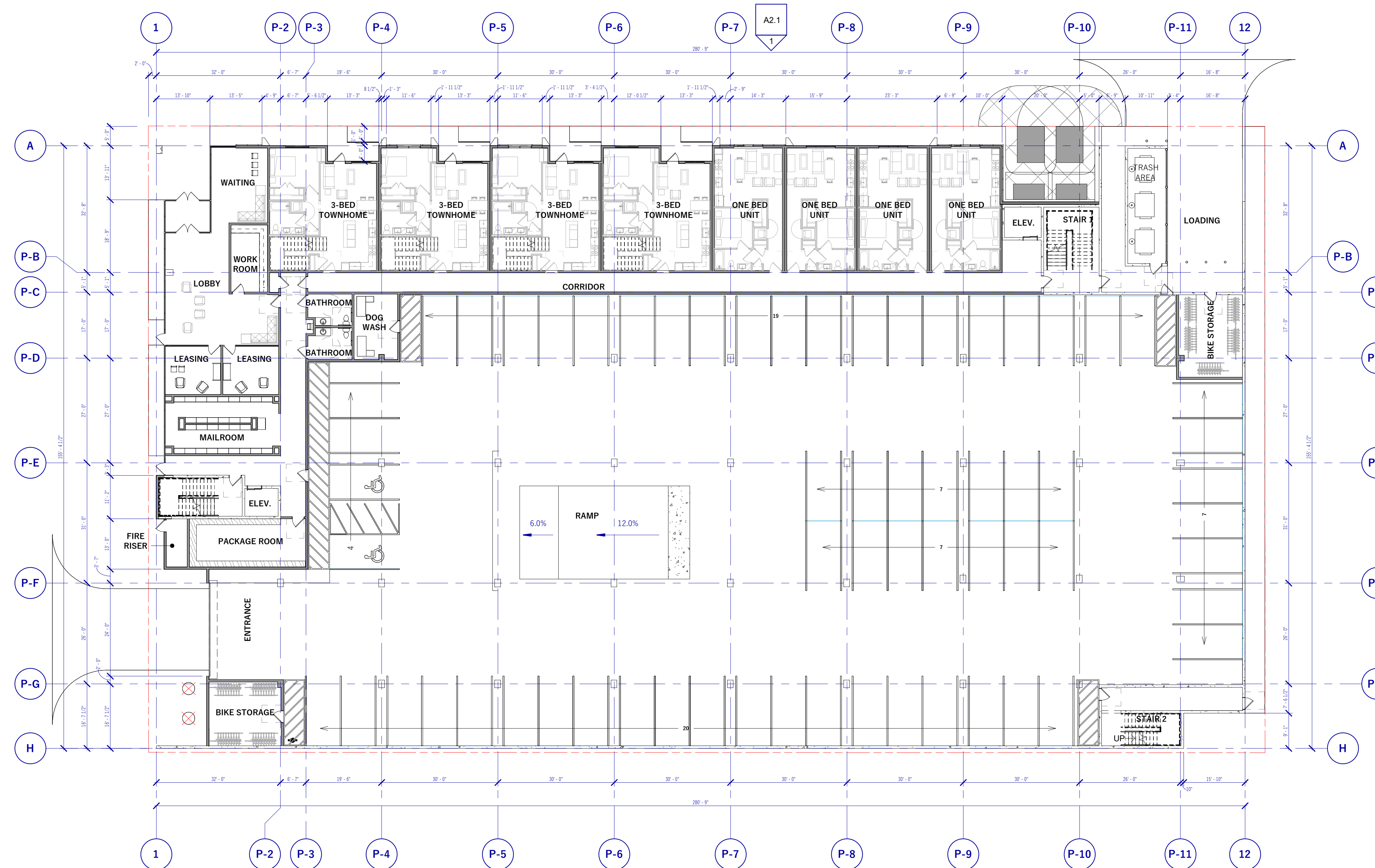
A0.5



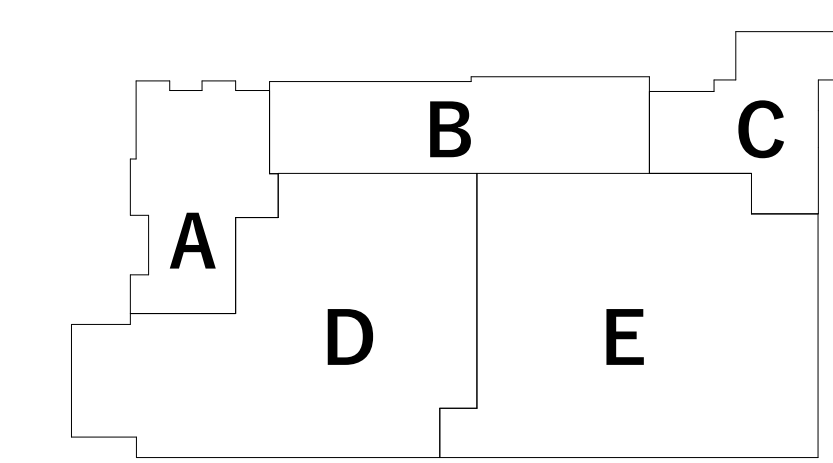
GENERAL NOTES - FLOOR PLAN

- A SEE PROJECT GENERAL NOTES FOR ADDITIONAL REQUIREMENTS
- B DIMENSIONS TO DOORS AND WINDOWS ARE TO CENTER OF FRAMED OPENING UNLESS NOTED OTHERWISE
- C SEE STRUCTURAL DRAWINGS AND CALCULATIONS FOR ALL STRUCTURAL REQUIREMENTS INCLUDING FOUNDATION WALL SPECIFICATIONS AND SHEARWALL AND HOLDDOWN REQUIREMENTS
- D REFER TO ENLARGED PLANS AND UNIT PLANS FOR REMAINING DIMENSIONS
- E EXTERIOR GRID LINES AND DIMENSIONS ARE TO EXTERIOR FACE OF SHEATHING. SEE ARCHITECTURAL AND STRUCTURAL DETAILS FOR FOUNDATION LOCATION

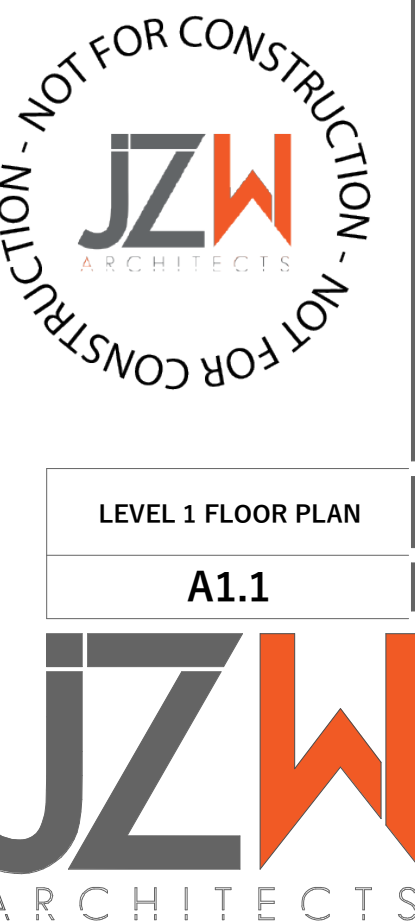
KEYED NOTES



LEVEL 1 FLOOR PLAN
 1/16" = 1'-0"



REFER TO ENLARGED PLANS FOR REMAINING DIMENSIONS AND INFORMATION

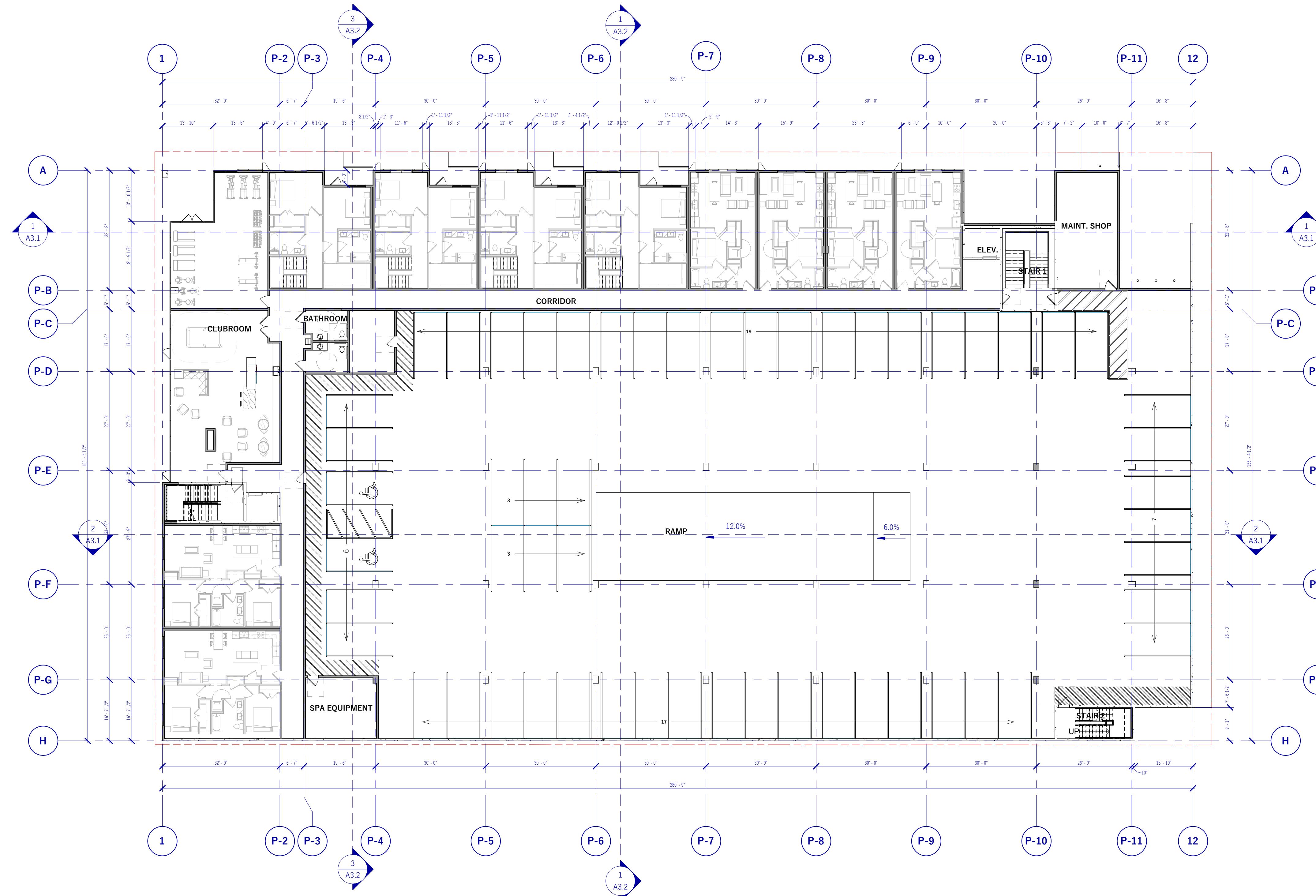


LEVEL 1 FLOOR PLAN
 A1.1

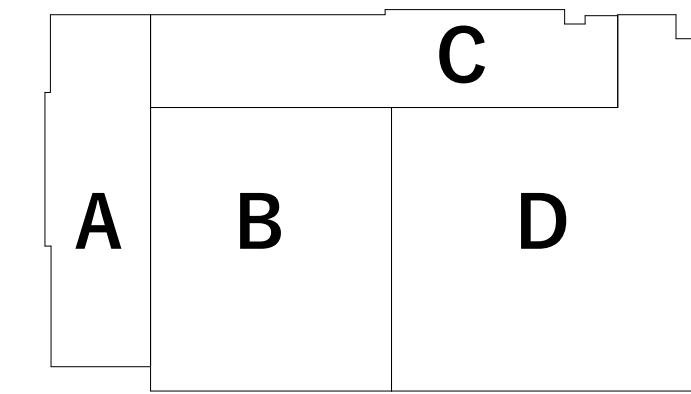
GENERAL NOTES - FLOOR PLAN

- A SEE PROJECT GENERAL NOTES FOR ADDITIONAL REQUIREMENTS
- B DIMENSIONS TO DOORS AND WINDOWS ARE TO CENTER OF FRAMED OPENING UNLESS NOTED OTHERWISE
- C SEE STRUCTURAL DRAWINGS AND CALCULATIONS FOR ALL STRUCTURAL REQUIREMENTS INCLUDING FOUNDATION WALL SPECIFICATIONS AND SHEARWALL AND HOLDDOWN REQUIREMENTS
- D REFER TO ENLARGED PLANS AND UNIT PLANS FOR REMAINING DIMENSIONS
- E EXTERIOR GRID LINES AND DIMENSIONS ARE TO EXTERIOR FACE OF SHEATHING. SEE ARCHITECTURAL AND STRUCTURAL DETAILS FOR FOUNDATION LOCATION

KEYED NOTES

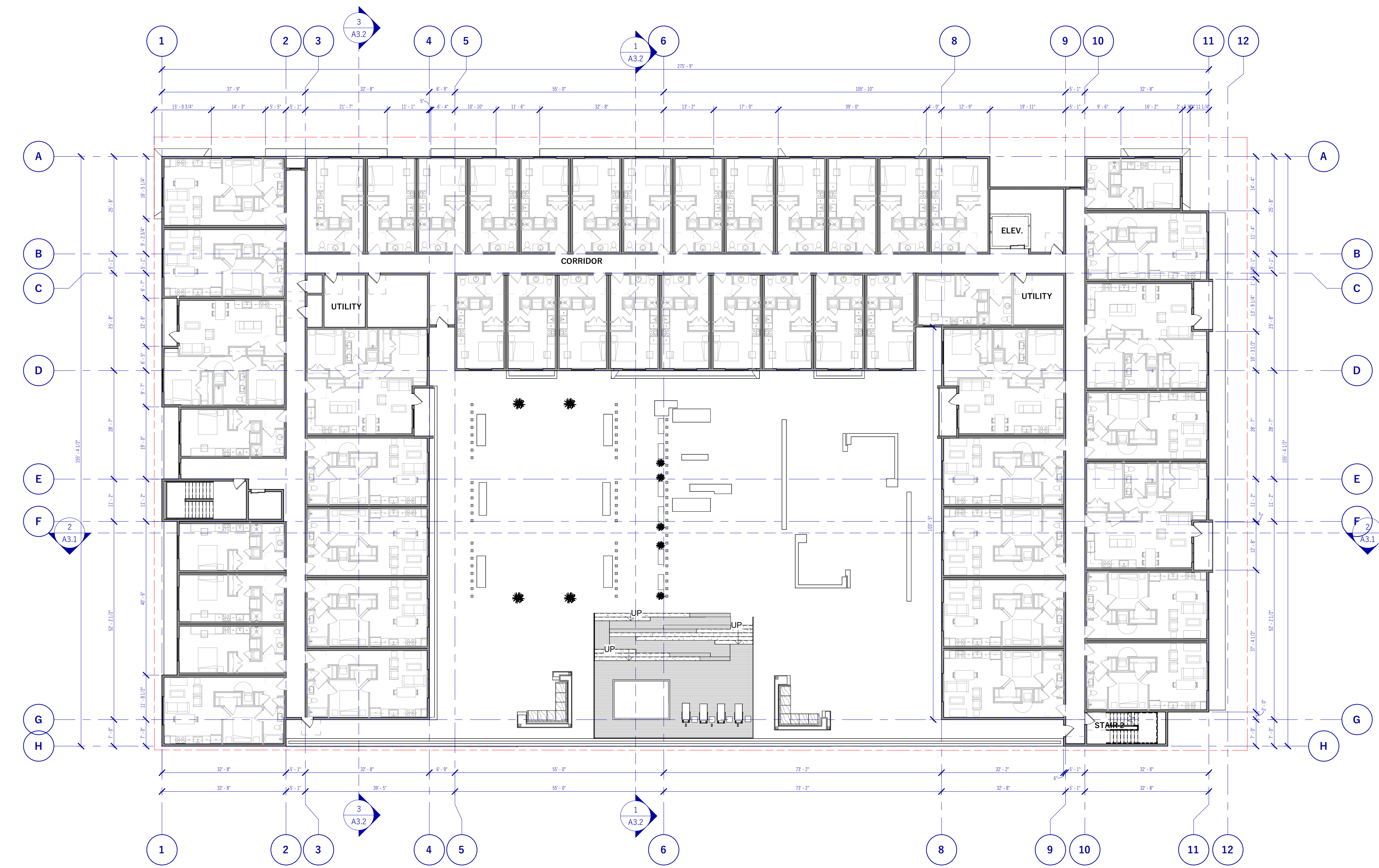


1
A1.2 **LEVEL 2 FLOOR PLAN**
1/16" = 1'-0"



REFER TO ENLARGED PLANS FOR REMAINING DIMENSIONS AND INFORMATION



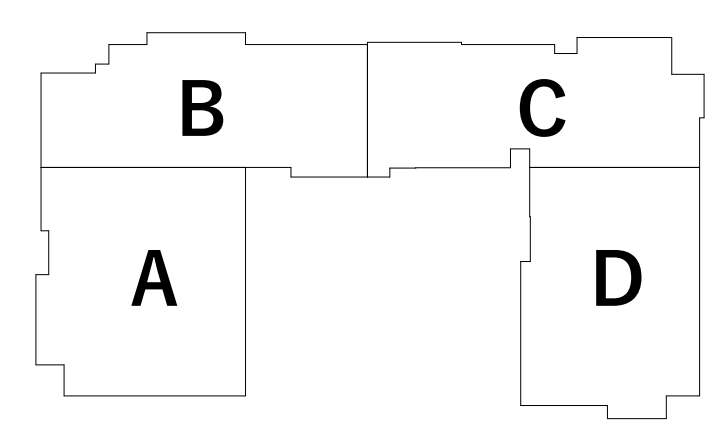


1
A1.3
LEVEL 3 FLOOR PLAN
1/16" = 1'-0"

GENERAL NOTES - FLOOR PLAN

- A SEE PROJECT GENERAL NOTES FOR ADDITIONAL REQUIREMENTS
- B DIMENSIONS TO DOORS AND WINDOWS ARE TO CENTER OF FRAMED OPENING UNLESS NOTED OTHERWISE
- C SEE STRUCTURAL DRAWINGS AND CALCULATIONS FOR ALL STRUCTURAL REQUIREMENTS INCLUDING FOUNDATION WALL SPECIFICATIONS AND SHEARWALL AND HOLDDOWN REQUIREMENTS
- D REFER TO ENLARGED PLANS AND UNIT PLANS FOR REMAINING DIMENSIONS
- E EXTERIOR GRID LINES AND DIMENSIONS ARE TO EXTERIOR FACE OF SHEATHING. SEE ARCHITECTURAL AND STRUCTURAL DETAILS FOR FOUNDATION LOCATION

KEYED NOTES



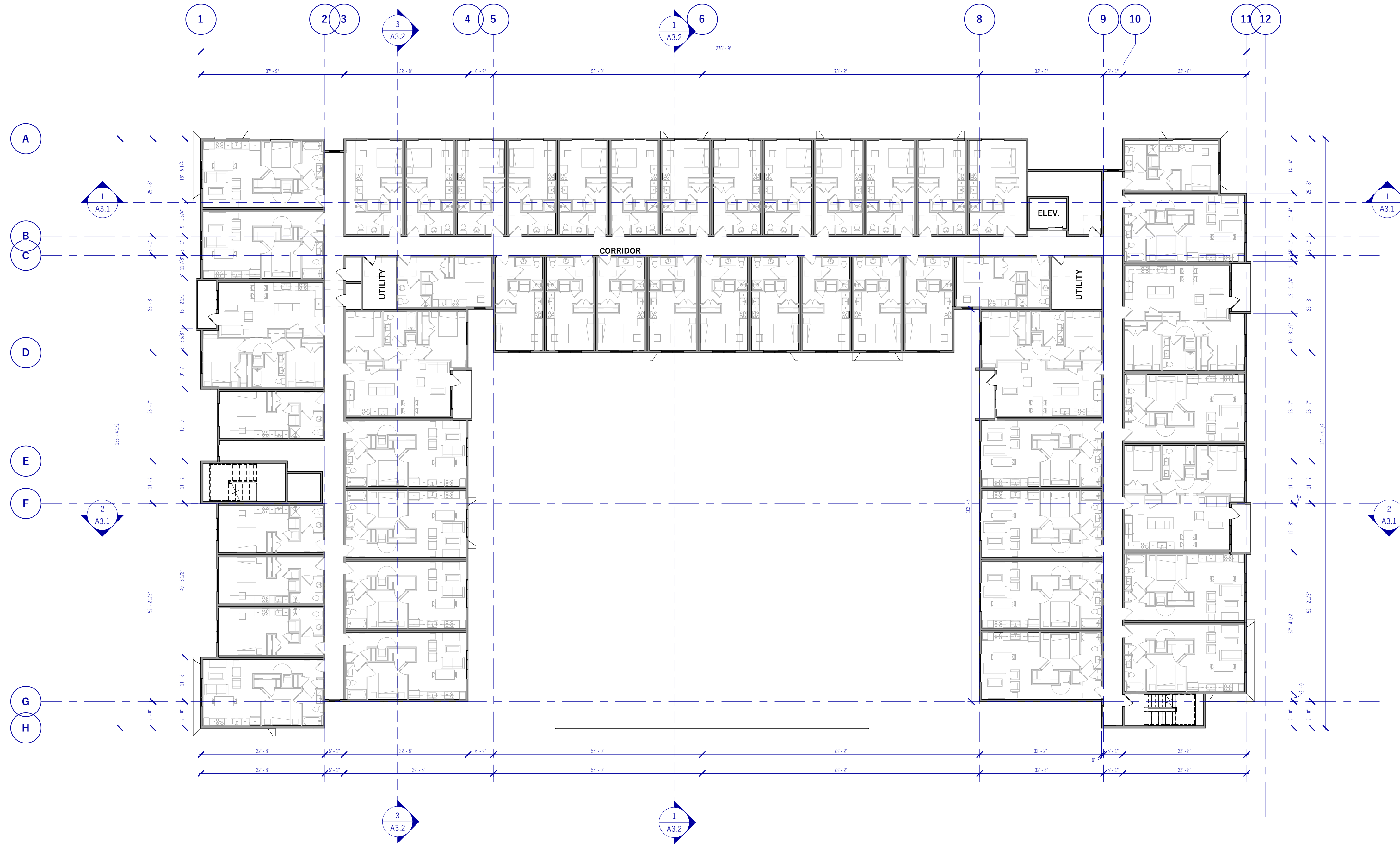
REFER TO ENLARGED PLANS FOR REMAINING DIMENSIONS AND INFORMATION

NOT FOR CONSTRUCTION

NOT FOR CONSTRUCTION

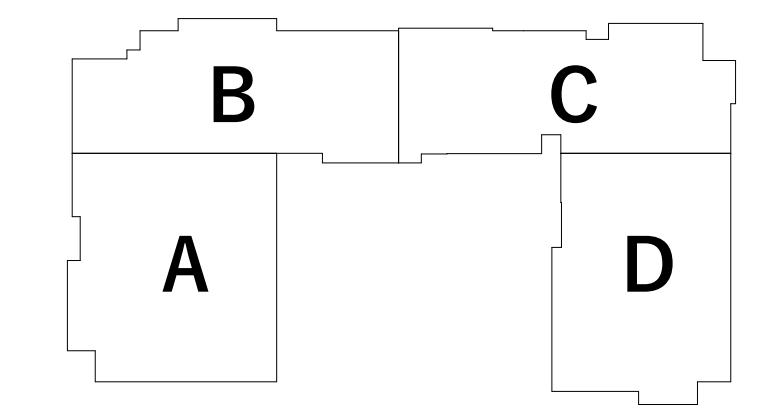
JZW ARCHITECTS

LEVEL 3 FLOOR PLAN
A1.3



1
A1.4

LEVEL 4 FLOOR PLAN
1/16" = 1'-0"



REFER TO ENLARGED PLANS FOR
REMAINING DIMENSIONS AND INFORMATION

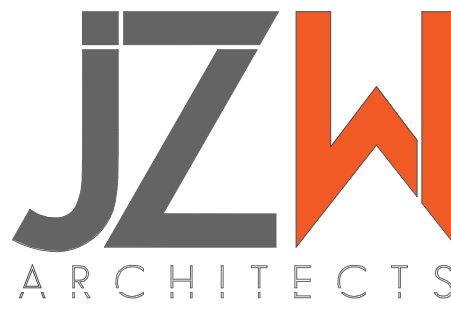
GENERAL NOTES - FLOOR PLAN

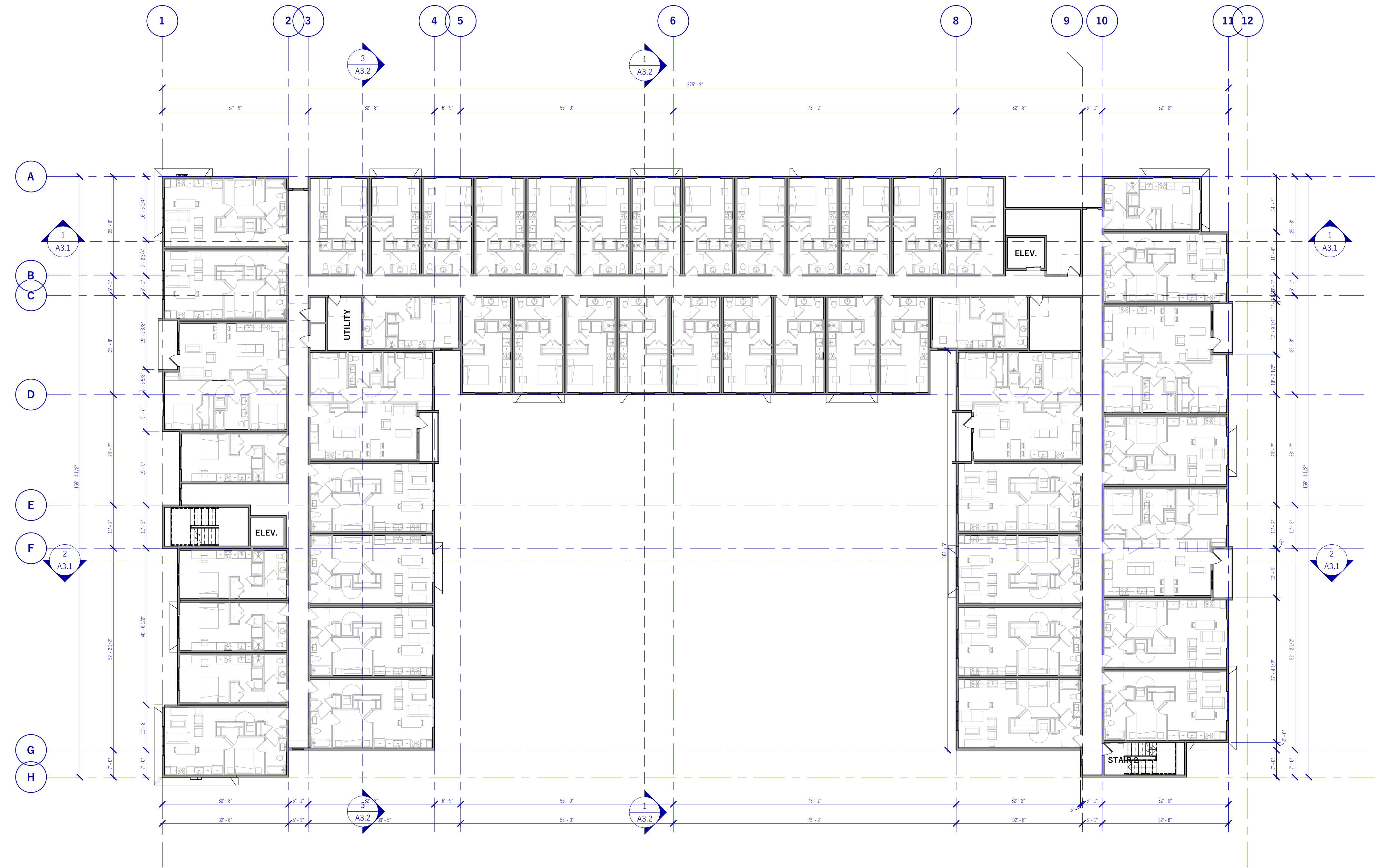
- A SEE PROJECT GENERAL NOTES FOR ADDITIONAL REQUIREMENTS
- B DIMENSIONS TO DOORS AND WINDOWS ARE TO CENTER OF FRAMED OPENING UNLESS NOTED OTHERWISE
- C SEE STRUCTURAL DRAWINGS AND CALCULATIONS FOR ALL STRUCTURAL REQUIREMENTS INCLUDING FOUNDATION WALL SPECIFICATIONS AND SHEARWALL AND HOLDDOWN REQUIREMENTS
- D REFER TO ENLARGED PLANS AND UNIT PLANS FOR REMAINING DIMENSIONS
- E EXTERIOR GRID LINES AND DIMENSIONS ARE TO EXTERIOR FACE OF SHEATHING. SEE ARCHITECTURAL AND STRUCTURAL DETAILS FOR FOUNDATION LOCATION

KEYED NOTES



LEVEL 4 FLOOR PLAN
A1.4

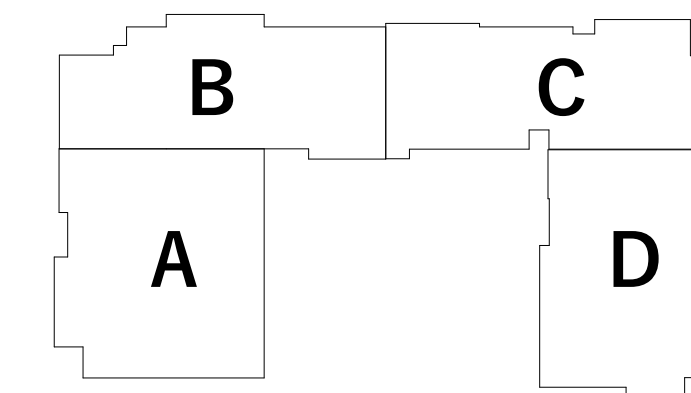




1
A1.5

LEVEL 5 FLOOR PLAN

1/16" = 1'-0"



REFER TO ENLARGED PLANS FOR
REMAINING DIMENSIONS AND INFORMATION

GENERAL NOTES - FLOOR PLAN

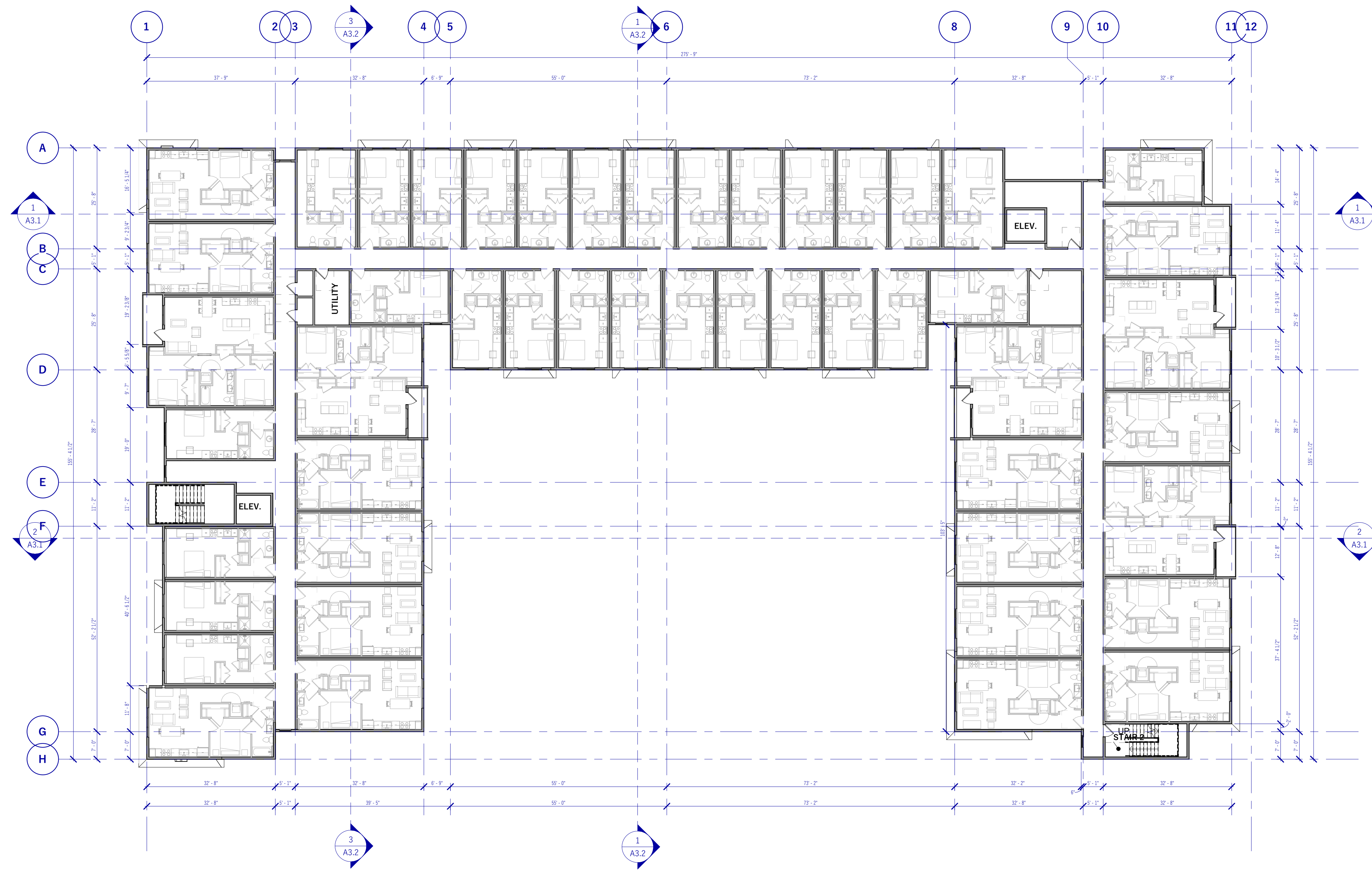
- A SEE PROJECT GENERAL NOTES FOR ADDITIONAL REQUIREMENTS
- B DIMENSIONS TO DOORS AND WINDOWS ARE TO CENTER OF FRAMED OPENING UNLESS NOTED OTHERWISE
- C SEE STRUCTURAL DRAWINGS AND CALCULATIONS FOR ALL STRUCTURAL REQUIREMENTS INCLUDING FOUNDATION WALL SPECIFICATIONS AND SHEARWALL AND HOLDDOWN REQUIREMENTS
- D REFER TO ENLARGED PLANS AND UNIT PLANS FOR REMAINING DIMENSIONS
- E EXTERIOR GRID LINES AND DIMENSIONS ARE TO EXTERIOR FACE OF SHEATHING. SEE ARCHITECTURAL AND STRUCTURAL DETAILS FOR FOUNDATION LOCATION

KEYED NOTES



LEVEL 5 FLOOR PLAN
A1.5

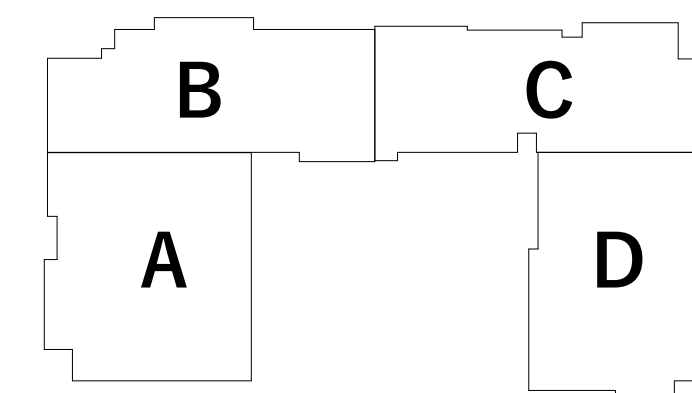




1
A1.6

LEVEL 6 FLOOR PLAN

1/16" = 1'-0"



REFER TO ENLARGED PLANS FOR
REMAINING DIMENSIONS AND INFORMATION

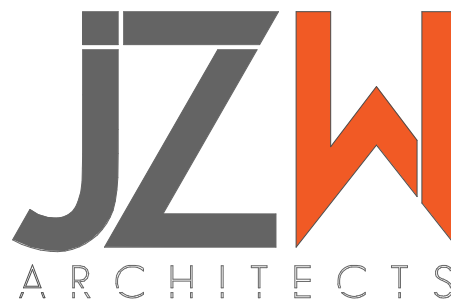
GENERAL NOTES - FLOOR PLAN

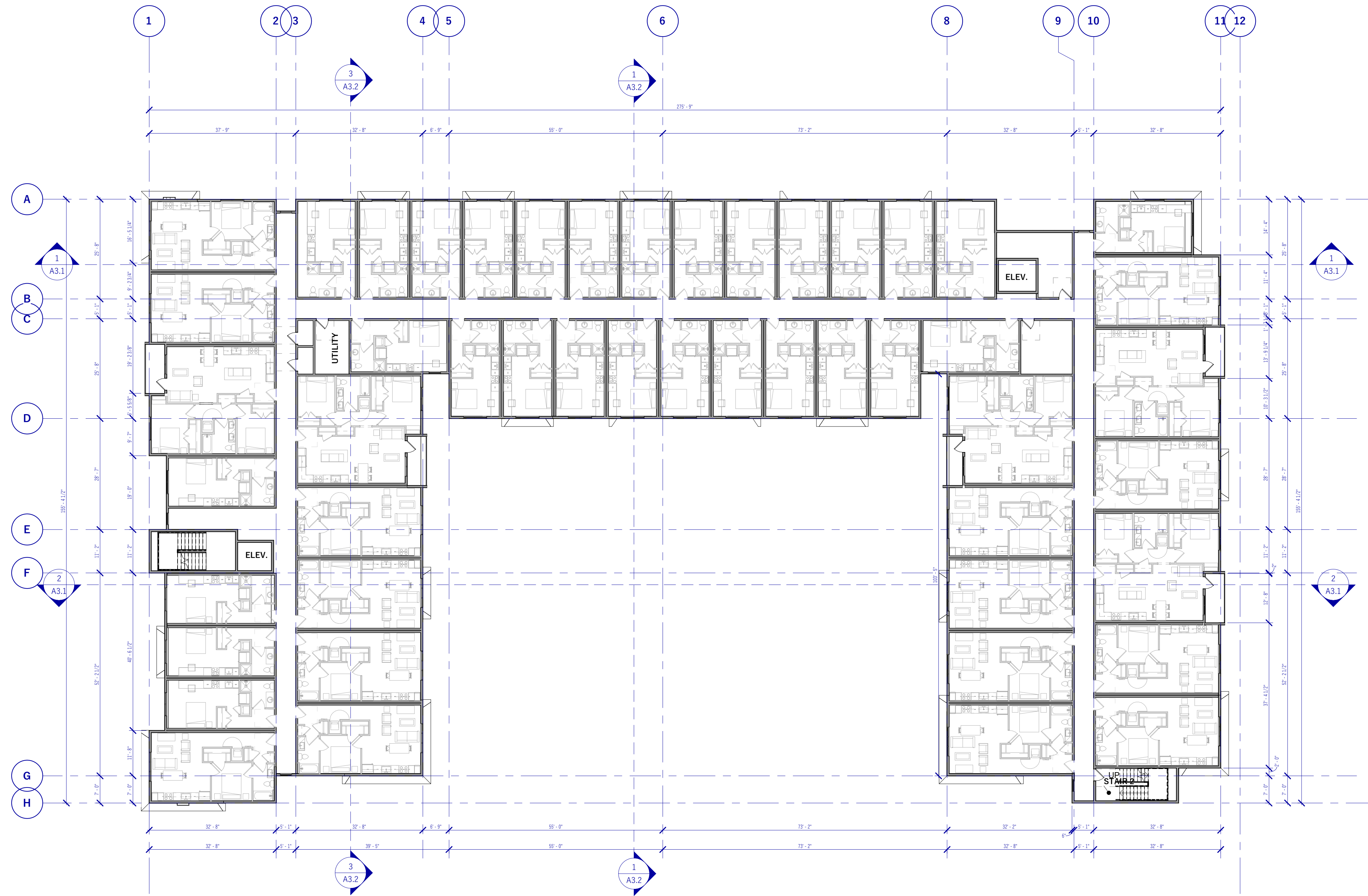
- A SEE PROJECT GENERAL NOTES FOR ADDITIONAL REQUIREMENTS
- B DIMENSIONS TO DOORS AND WINDOWS ARE TO CENTER OF FRAMED OPENING UNLESS NOTED OTHERWISE
- C SEE STRUCTURAL DRAWINGS AND CALCULATIONS FOR ALL STRUCTURAL REQUIREMENTS INCLUDING FOUNDATION WALL SPECIFICATIONS AND SHEARWALL AND HOLDDOWN REQUIREMENTS
- D REFER TO ENLARGED PLANS AND UNIT PLANS FOR REMAINING DIMENSIONS
- E EXTERIOR GRID LINES AND DIMENSIONS ARE TO EXTERIOR FACE OF SHEATHING. SEE ARCHITECTURAL AND STRUCTURAL DETAILS FOR FOUNDATION LOCATION

KEYED NOTES



LEVEL 6 FLOOR PLAN
A1.6

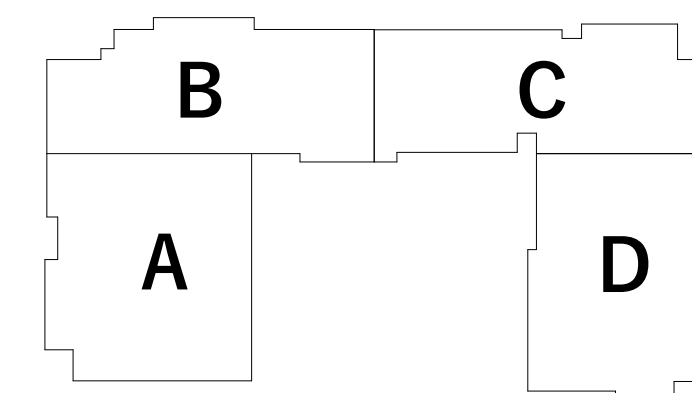




1
A1.7

LEVEL 7 FLOOR PLAN

1/16" = 1'-0"



REFER TO ENLARGED PLANS FOR
REMAINING DIMENSIONS AND INFORMATION

GENERAL NOTES - FLOOR PLAN

- A SEE PROJECT GENERAL NOTES FOR ADDITIONAL REQUIREMENTS
- B DIMENSIONS TO DOORS AND WINDOWS ARE TO CENTER OF FRAMED OPENING UNLESS NOTED OTHERWISE
- C SEE STRUCTURAL DRAWINGS AND CALCULATIONS FOR ALL STRUCTURAL REQUIREMENTS INCLUDING FOUNDATION WALL SPECIFICATIONS AND SHEARWALL AND HOLDDOWN REQUIREMENTS
- D REFER TO ENLARGED PLANS AND UNIT PLANS FOR REMAINING DIMENSIONS
- E EXTERIOR GRID LINES AND DIMENSIONS ARE TO EXTERIOR FACE OF SHEATHING. SEE ARCHITECTURAL AND STRUCTURAL DETAILS FOR FOUNDATION LOCATION

KEYED NOTES



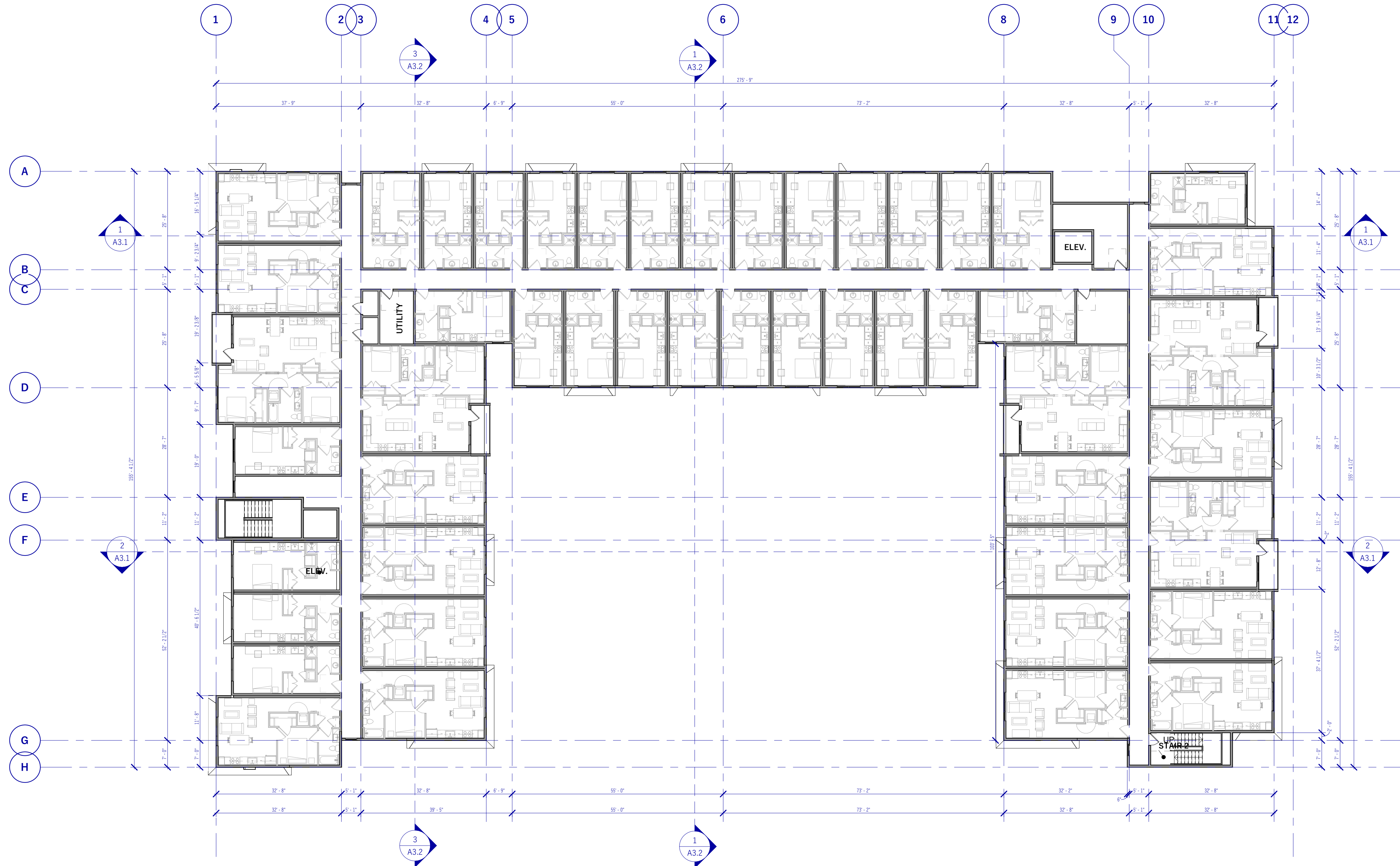
LEVEL 7 FLOOR PLAN
A1.7



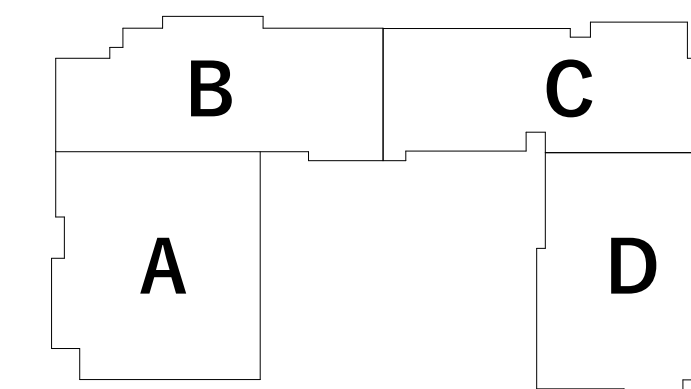
GENERAL NOTES - FLOOR PLAN

- A SEE PROJECT GENERAL NOTES FOR ADDITIONAL REQUIREMENTS
- B DIMENSIONS TO DOORS AND WINDOWS ARE TO CENTER OF FRAMED OPENING UNLESS NOTED OTHERWISE
- C SEE STRUCTURAL DRAWINGS AND CALCULATIONS FOR ALL STRUCTURAL REQUIREMENTS INCLUDING FOUNDATION WALL SPECIFICATIONS AND SHEARWALL AND HOLDDOWN REQUIREMENTS
- D REFER TO ENLARGED PLANS AND UNIT PLANS FOR REMAINING DIMENSIONS
- E EXTERIOR GRID LINES AND DIMENSIONS ARE TO EXTERIOR FACE OF SHEATHING. SEE ARCHITECTURAL AND STRUCTURAL DETAILS FOR FOUNDATION LOCATION

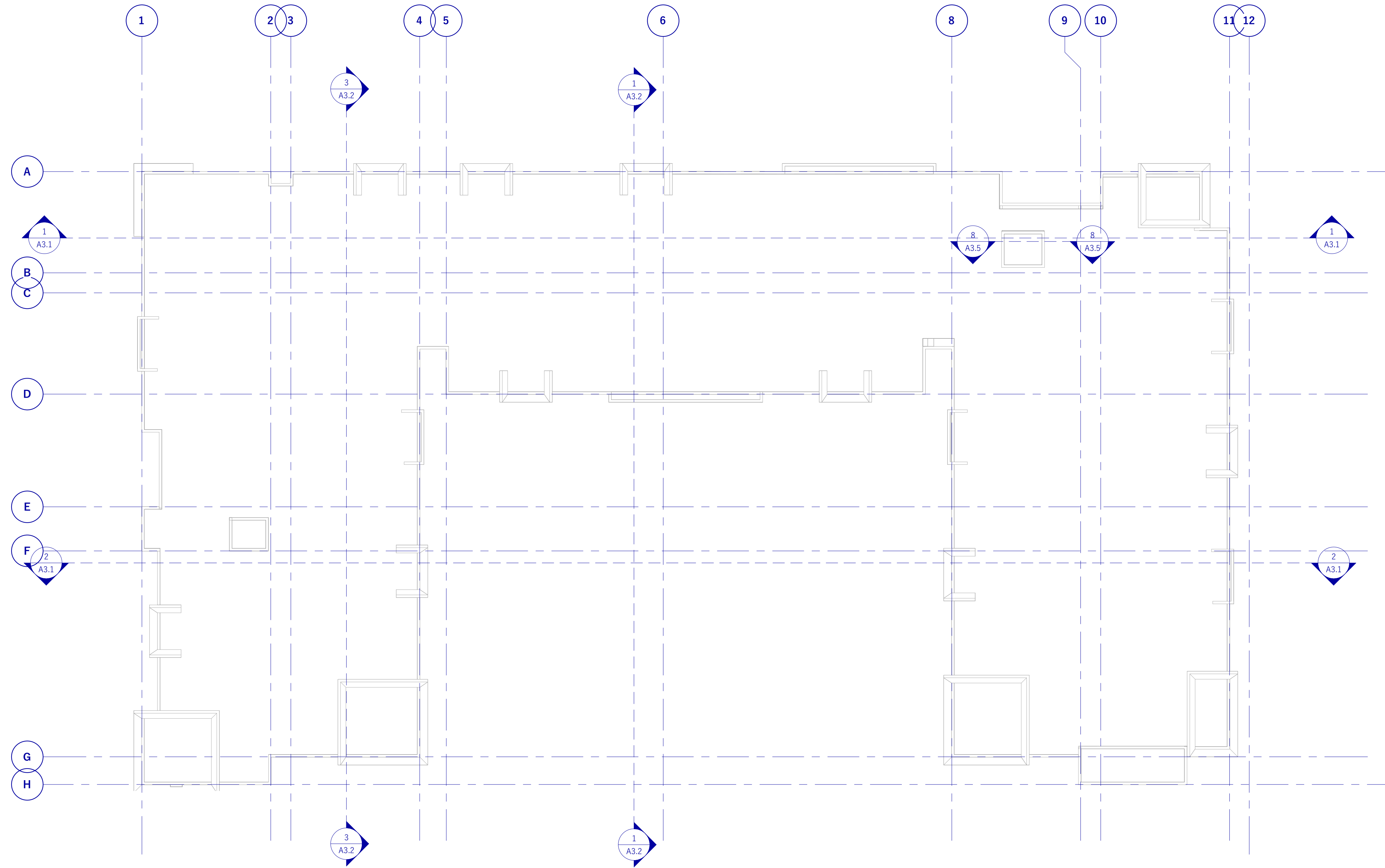
KEYED NOTES



1
A1.8 **LEVEL 8 FLOOR PLAN**
1/16" = 1'-0"



REFER TO ENLARGED PLANS FOR
REMAINING DIMENSIONS AND INFORMATION



GENERAL NOTES - ROOF

- A SEE GENERAL NOTES ON SHEET G1.1 FOR ADDITIONAL REQUIREMENTS. COORDINATE ALL STRUCTURAL ELEMENTS WITH STRUCTURAL CALCULATIONS.
- B ROOF DRAINAGE TO BE PIPED TO UNDERGROUND VAULT - SEE PLUMBING
- D COORDINATE WITH SECTIONS FOR ROOF OVERHANG DIMENSIONS.
- E CONTRACTOR TO PROVIDE SNOW GUARDS DESIGNED FOR THIS SPECIFIC ROOF LAYOUT - TRA SNOW AND SUN, OR APPROVED EQUIVALENT

KEYED NOTES

1
A1.9

ROOF PLAN
1/16" = 1'-0"



GENERAL NOTES - ELEVATIONS

- A SEE GENERAL NOTES FOR ADDITIONAL REQUIREMENTS.
- B COORDINATE WINDOW HEIGHTS WITH WINDOW SCHEDULE.
- C SEE ROOF PLAN FOR ALL ROOF SLOPES

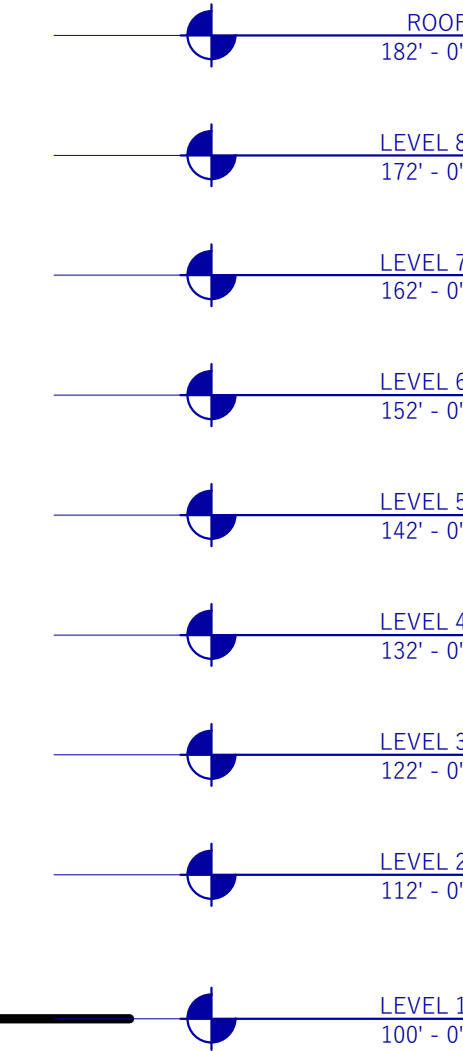


3
A2.1 **NORTH ELEVATION**
1/16" = 1'-0"



4
A2.1 **SOUTH ELEVATION**
1/16" = 1'-0"

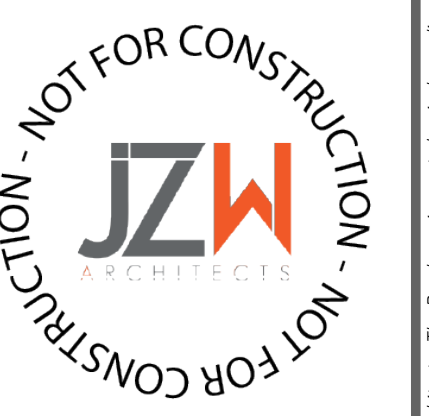
KEYED NOTES



1
A2.1 **EAST ELEVATION**
1/16" = 1'-0"

EXTERIOR MATERIAL LEGEND

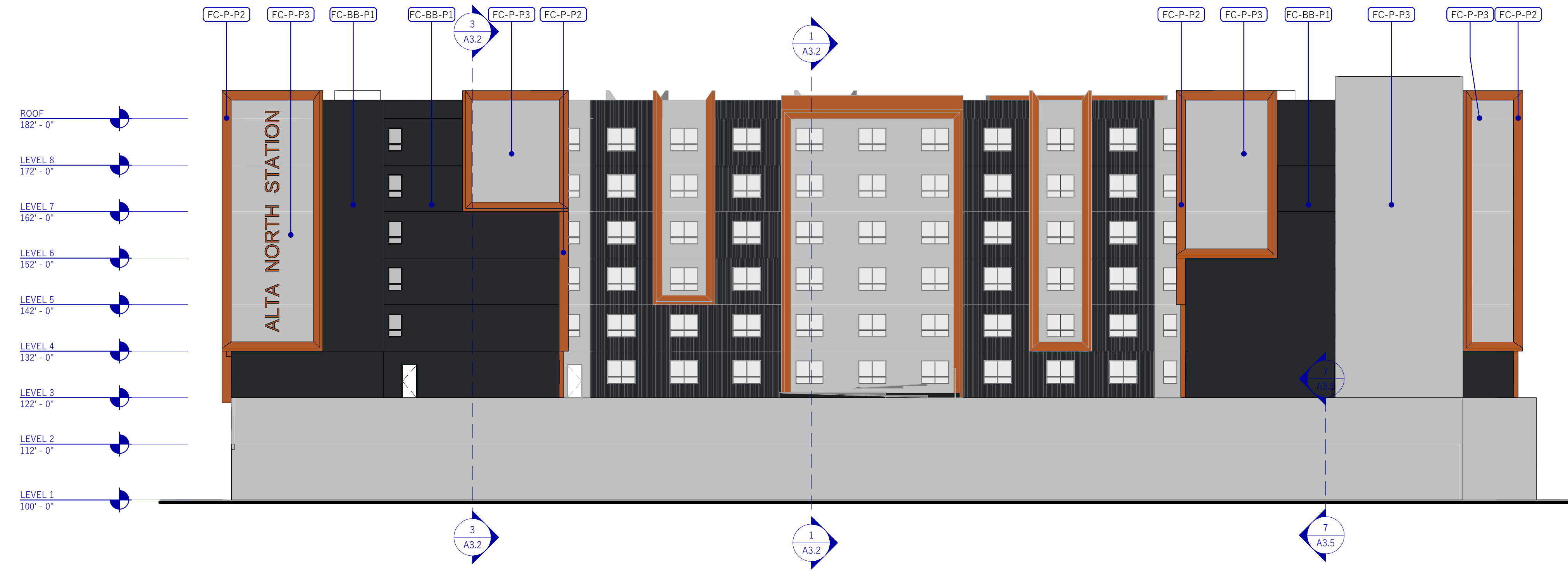
IMAGE	TAG	DESCRIPTION	COLOR/STYLE
	FC-BB-P1	FIBER CEMENT SIDING BOARD AND BATT PAINTED	BENJAMIN MOORE "BLACK PANTHER" 2125-10 OR EQUAL APPROVED BY OWNER AND ARCHITECT
	FC-P-P2	FIBER CEMENT SIDING PANEL W/ REVEALS PAINTED	BENJAMIN MOORE "FIRE DANCE" 2171-20 OR EQUAL APPROVED BY OWNER AND ARCHITECT
	FC-P-P3	FIBER CEMENT SIDING PANEL W/ REVEALS PAINTED	BENJAMIN MOORE "PEWTER" 2121-30 OR EQUAL APPROVED BY OWNER AND ARCHITECT
	FC-L-P4	FIBER CEMENT SIDING 6" LAP PAINTED	BENJAMIN MOORE "BLACK PANTHER" 2125-10 OR EQUAL APPROVED BY OWNER AND ARCHITECT
	BR1	BRICK	INTERSTATE BRICK "MIDNIGHT BLACK" OR EQUAL APPROVED BY OWNER AND ARCHITECT



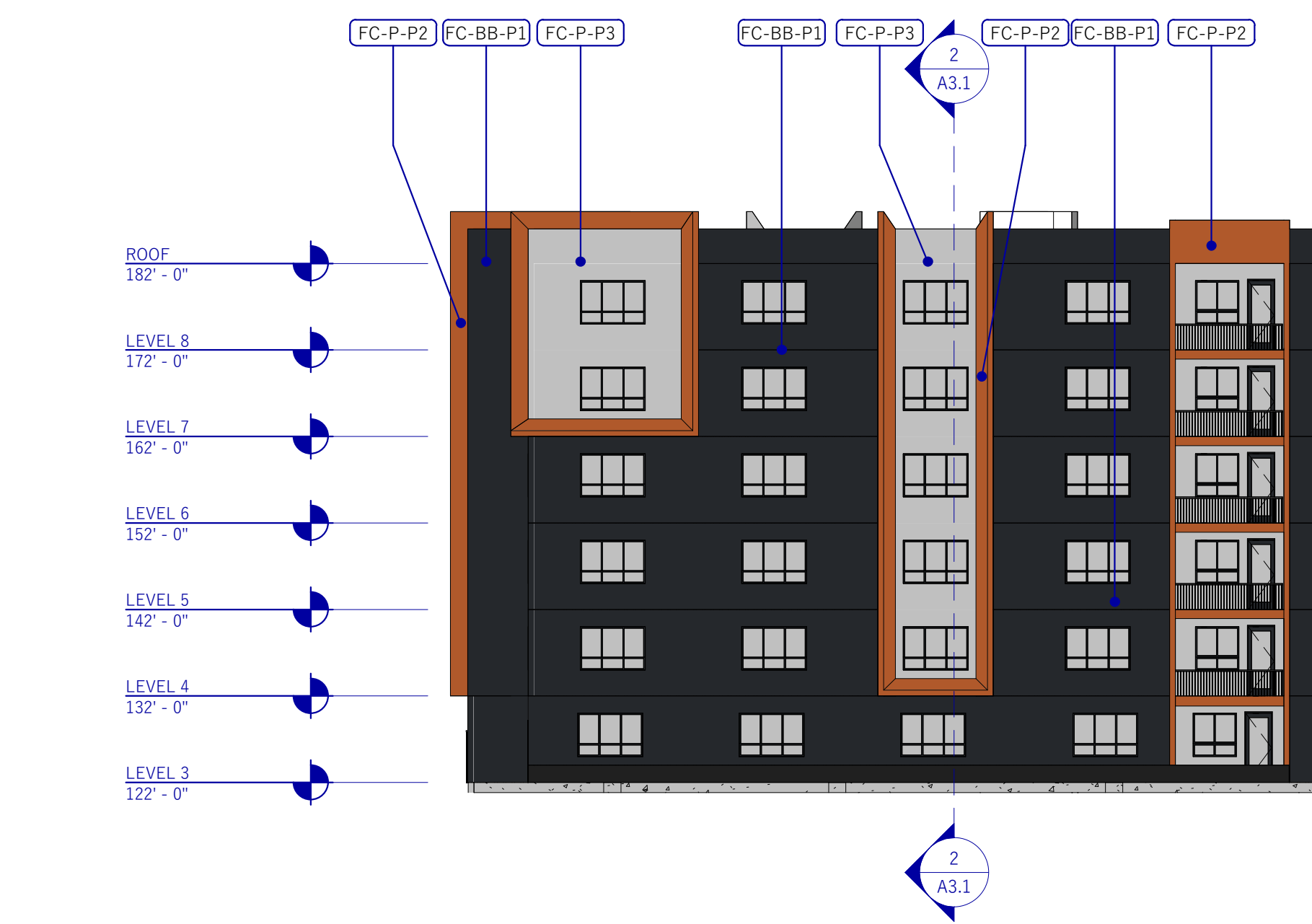
KEYED NOTES

GENERAL NOTES - ELEVATIONS

- A SEE GENERAL NOTES FOR ADDITIONAL REQUIREMENTS.
- B COORDINATE WINDOW HEIGHTS WITH WINDOW SCHEDULE.
- C SEE ROOF PLAN FOR ALL ROOF SLOPES



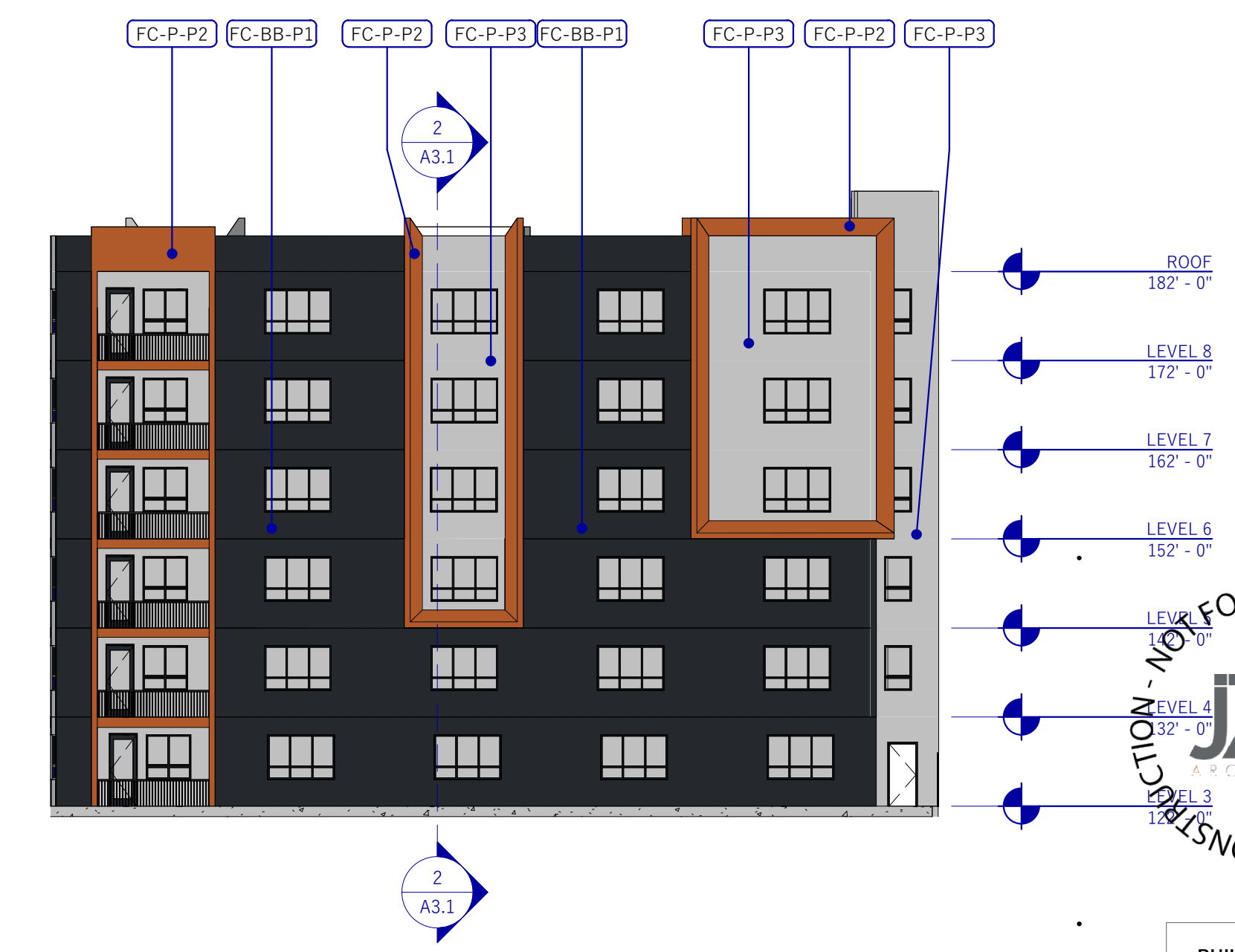
3
A2.2 WEST ELEVATION
1/16" = 1'-0"



2
A2.2 COURTYARD SOUTH ELEVATION
1/16" = 1'-0"



5
A2.2 COURTYARD EAST ELEVATION
1/16" = 1'-0"



1
A2.2 COURTYARD NORTH ELEVATION
1/16" = 1'-0"

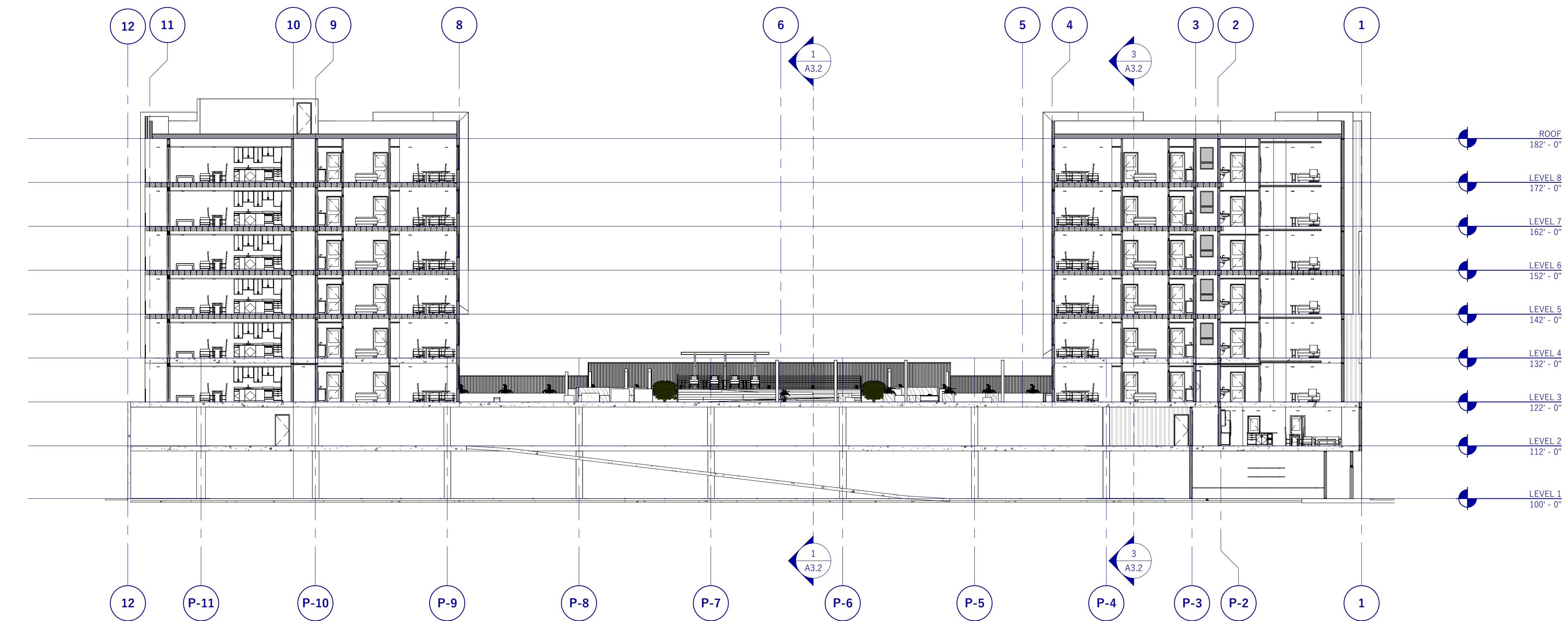
EXTERIOR MATERIAL LEGEND

IMAGE	TAG	DESCRIPTION	COLOR/STYLE
	FC-BB-P1	FIBER CEMENT SIDING BOARD AND BATT PAINTED	BENJAMIN MOORE "BLACK PANTHER" 2125-10 OR EQUAL APPROVED BY OWNER AND ARCHITECT
	FC-P-P2	FIBER CEMENT SIDING PANEL W/ REVEALS PAINTED	BENJAMIN MOORE "FIRE DANCE" 2171-20 OR EQUAL APPROVED BY OWNER AND ARCHITECT
	FC-P-P3	FIBER CEMENT SIDING PANEL W/ REVEALS PAINTED	BENJAMIN MOORE "PEWTER" 2121-30 OR EQUAL APPROVED BY OWNER AND ARCHITECT
	FC-L-P4	FIBER CEMENT SIDING 6" LAP PAINTED	BENJAMIN MOORE "BLACK PANTHER" 2125-10 OR EQUAL APPROVED BY OWNER AND ARCHITECT
	BR1	BRICK	INTERSTATE BRICK "MIDNIGHT BLACK" OR EQUAL APPROVED BY OWNER AND ARCHITECT





BUILDING SECTION 1
 1/16" = 1'-0"

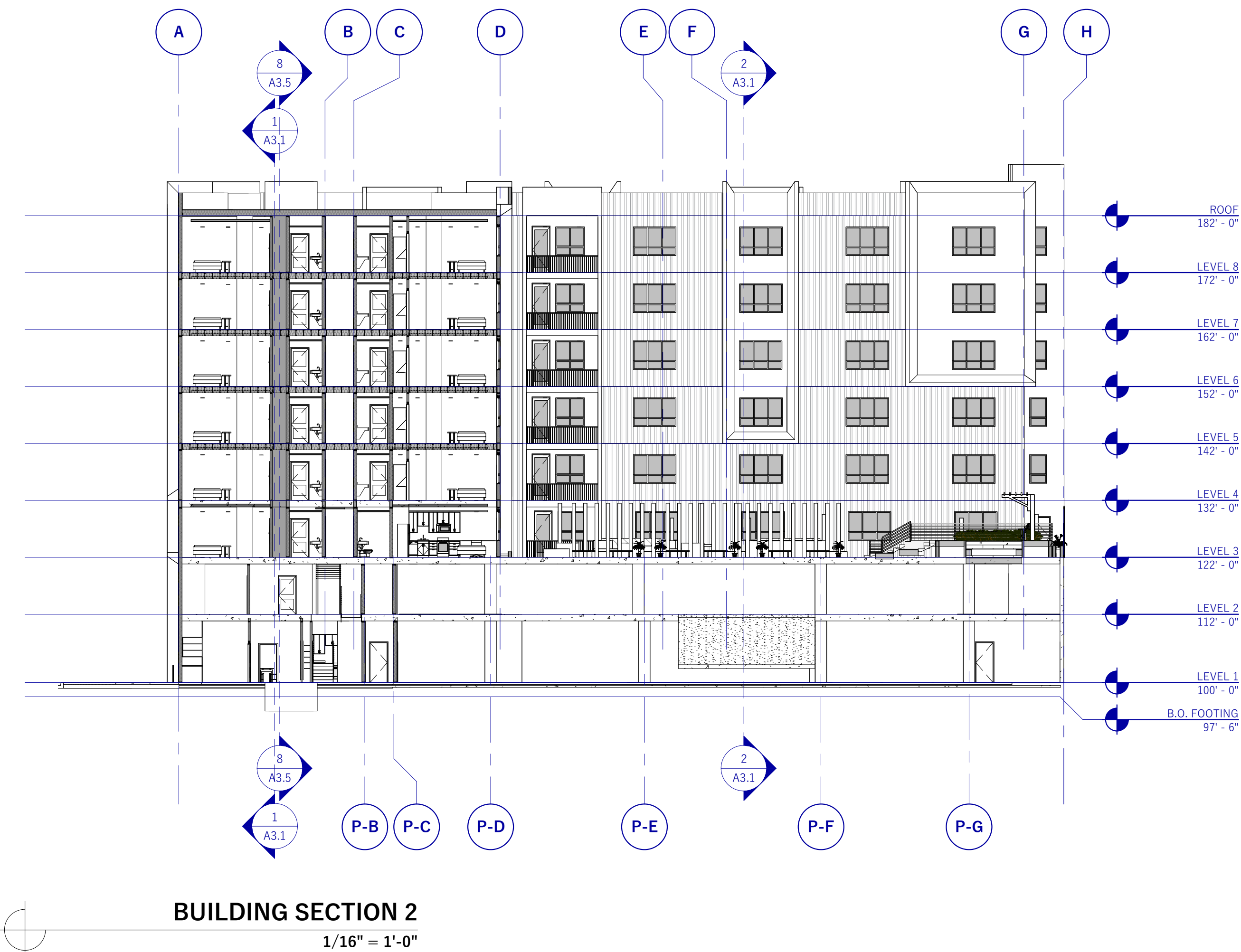
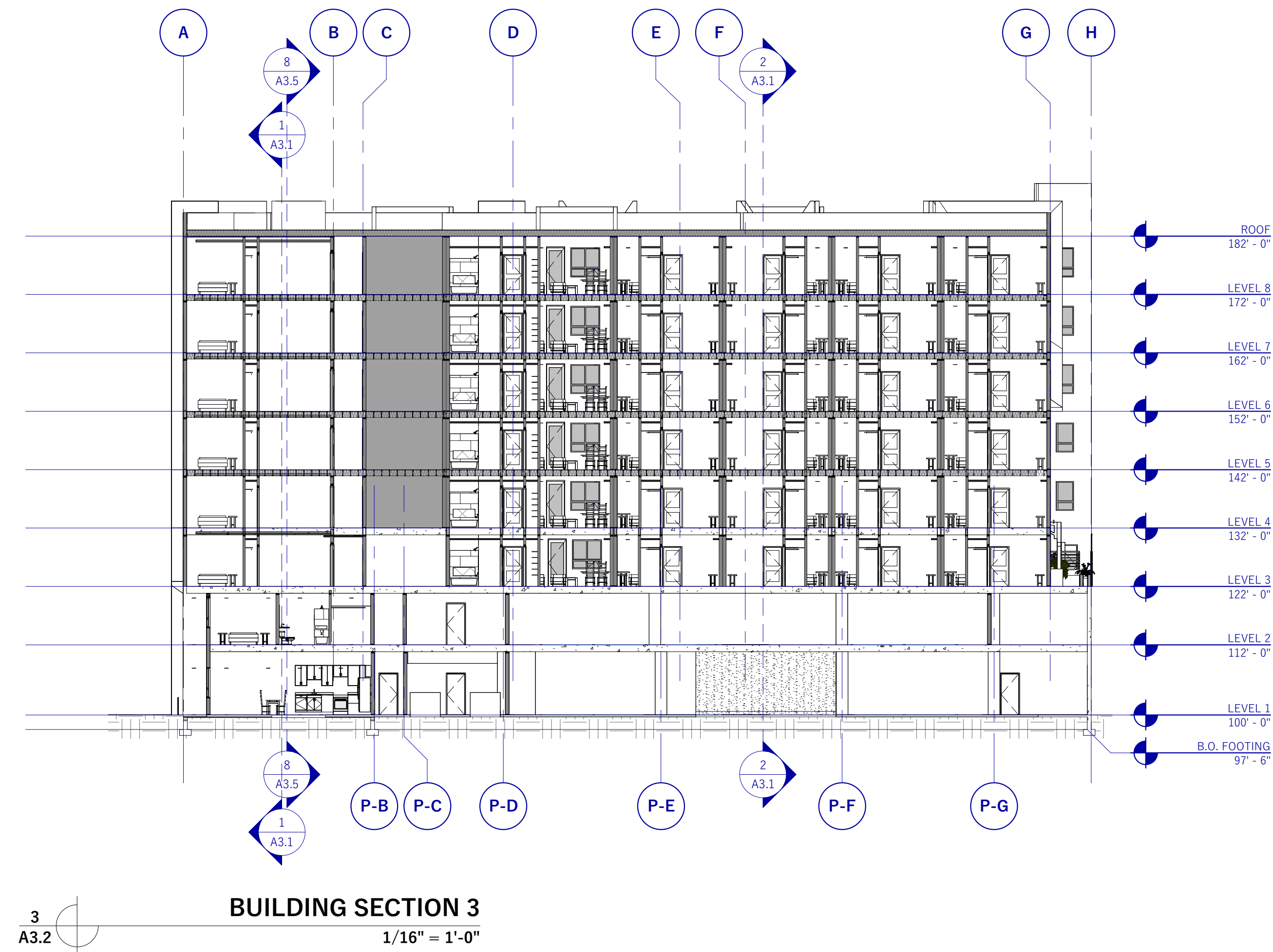


BUILDING SECTION 5
 1/16" = 1'-0"

- GENERAL NOTES - SECTIONS**
- A SEE GENERAL NOTES ON SHEET G1.1 FOR ADDITIONAL REQUIREMENTS.
 - B REVIEW ALL STRUCTURAL PLANS AND SPECIFICATIONS AS WELL AS STRUCTURAL CALCULATIONS FOR ALL STRUCTURAL REQUIREMENTS
 - C REFER TO ELEVATION DRAWINGS FOR ALL EXTERIOR FINISHES
 - D ALL WINDOWS AND DOORS TO BE AS INDICATED IN FLOOR PLANS AND WINDOW/DOOR SCHEDULES.
 - E ALL INSULATION, VAPOR BARRIERS, BUILDING PAPER, ETC. AS INDICATED IN GENERAL NOTES

GENERAL NOTES - SECTIONS

- A SEE GENERAL NOTES ON SHEET G1.1 FOR ADDITIONAL REQUIREMENTS.
- B REVIEW ALL STRUCTURAL PLANS AND SPECIFICATIONS AS WELL AS STRUCTURAL CALCULATIONS FOR ALL STRUCTURAL REQUIREMENTS
- C REFER TO ELEVATION DRAWINGS FOR ALL EXTERIOR FINISHES
- D ALL WINDOWS AND DOORS TO BE AS INDICATED IN FLOOR PLANS AND WINDOW/DOOR SCHEDULES.
- E ALL INSULATION, VAPOR BARRIERS, BUILDING PAPER, ETC. AS INDICATED IN GENERAL NOTES

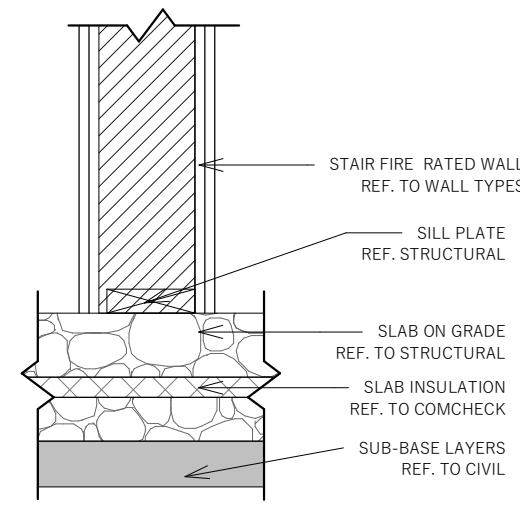


1865 WEST NORTH TEMPLE, SALT LAKE CITY, UT
ISSUED: JANUARY 26, 2024 CURRENT REVISION:
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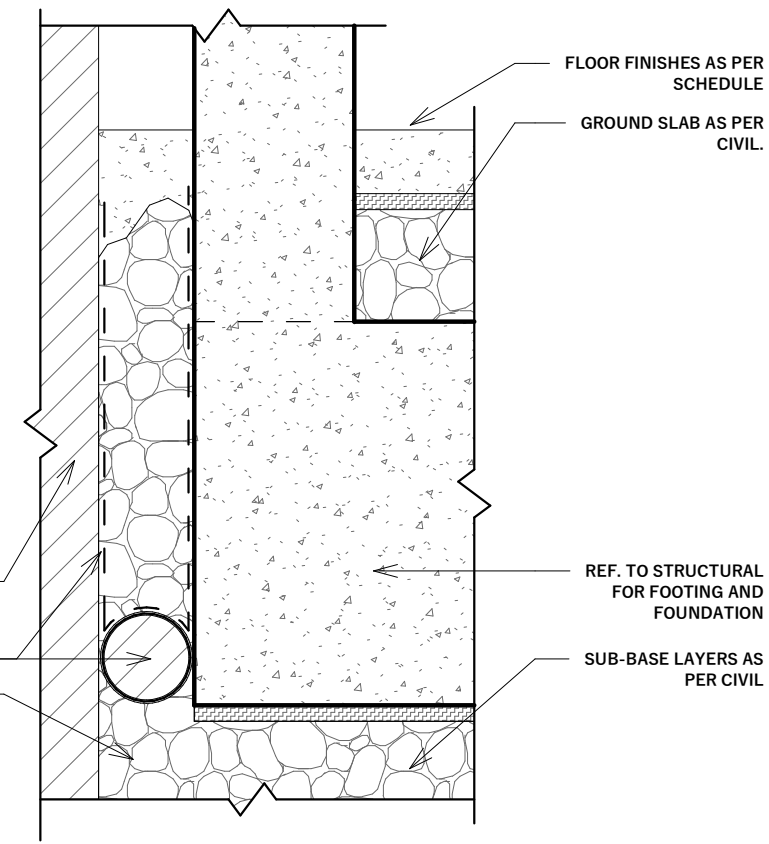
ALTA NORTH STATION APARTMENTS

23071



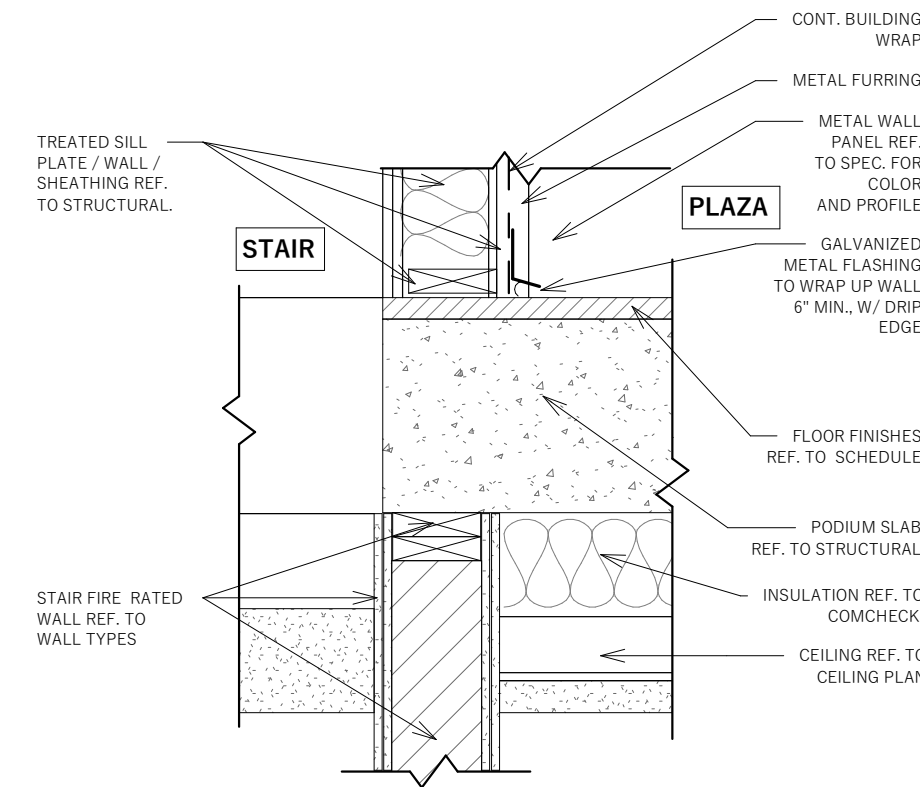


3
A9.1
WALL DETAIL@SLAB GRADE
1" = 1'-0"



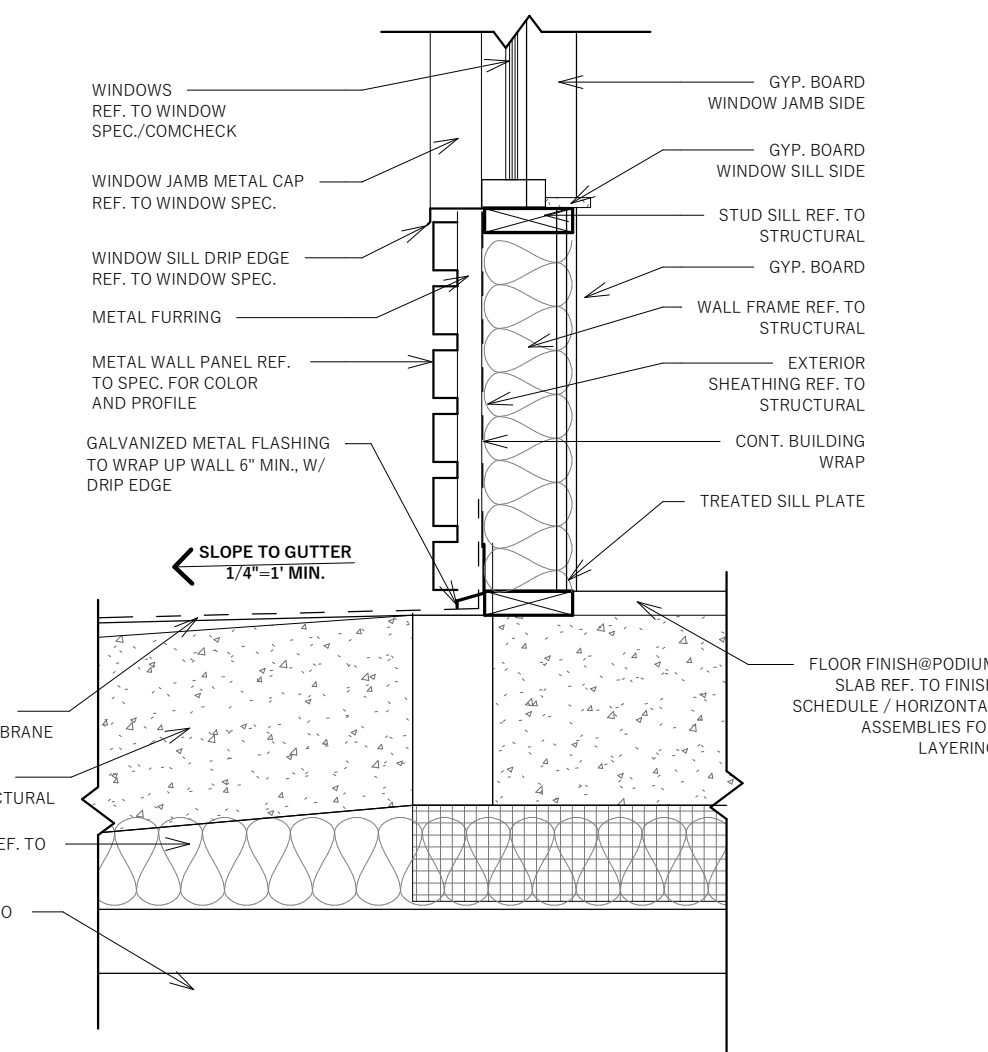
5
A9.1
FOUNDATION DETAIL@EXISTING BUILDING
1" = 1'-0"

6
A9.1
EXTERIOR WALL DETAIL@SLAB FLOOR
1" = 1'-0"

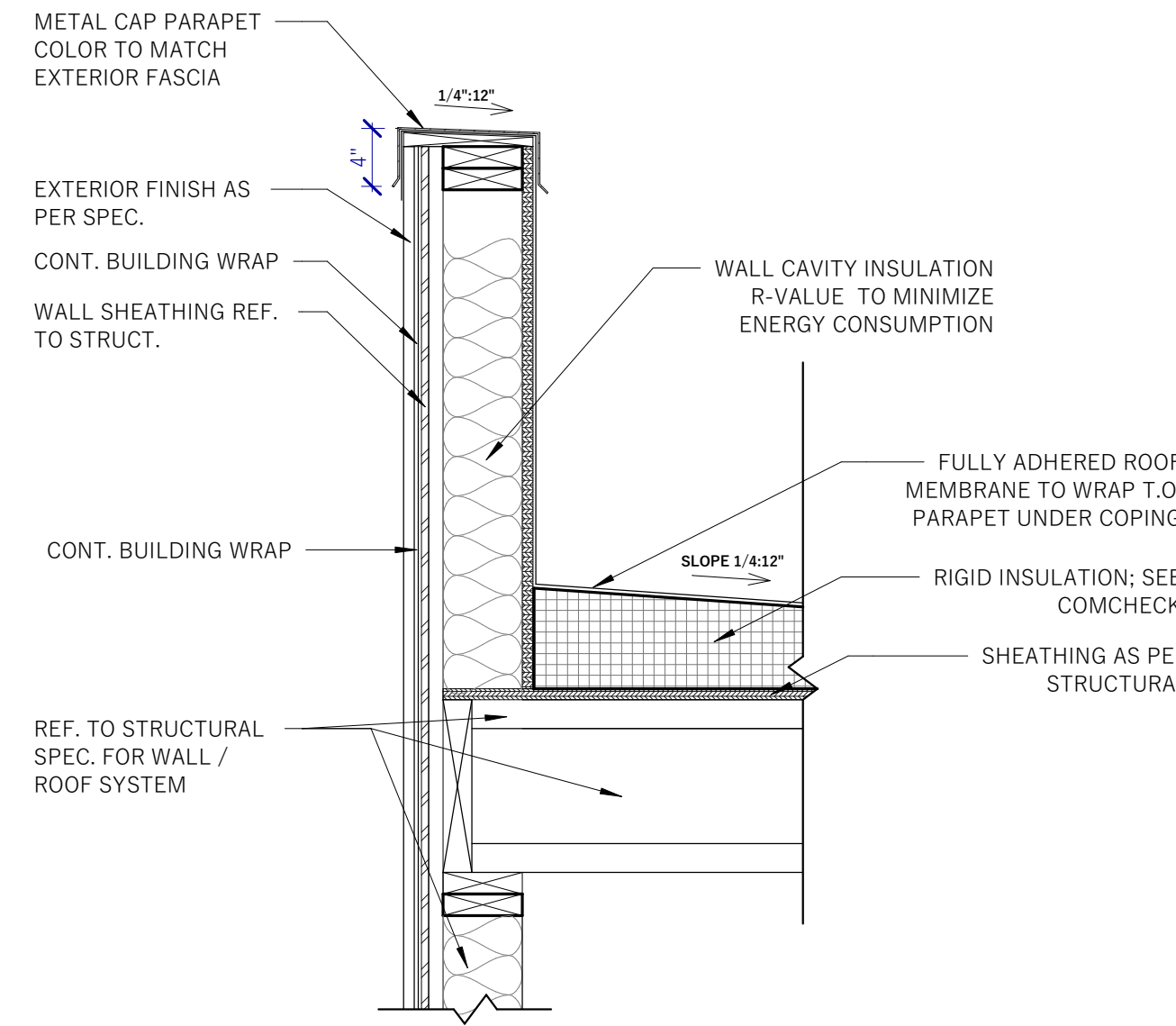


4
A9.1
SLAB DETAIL@PLAZA1
1" = 1'-0"

2
A9.1
WALL DETAIL@PODIUM SLAB 1
1" = 1'-0"

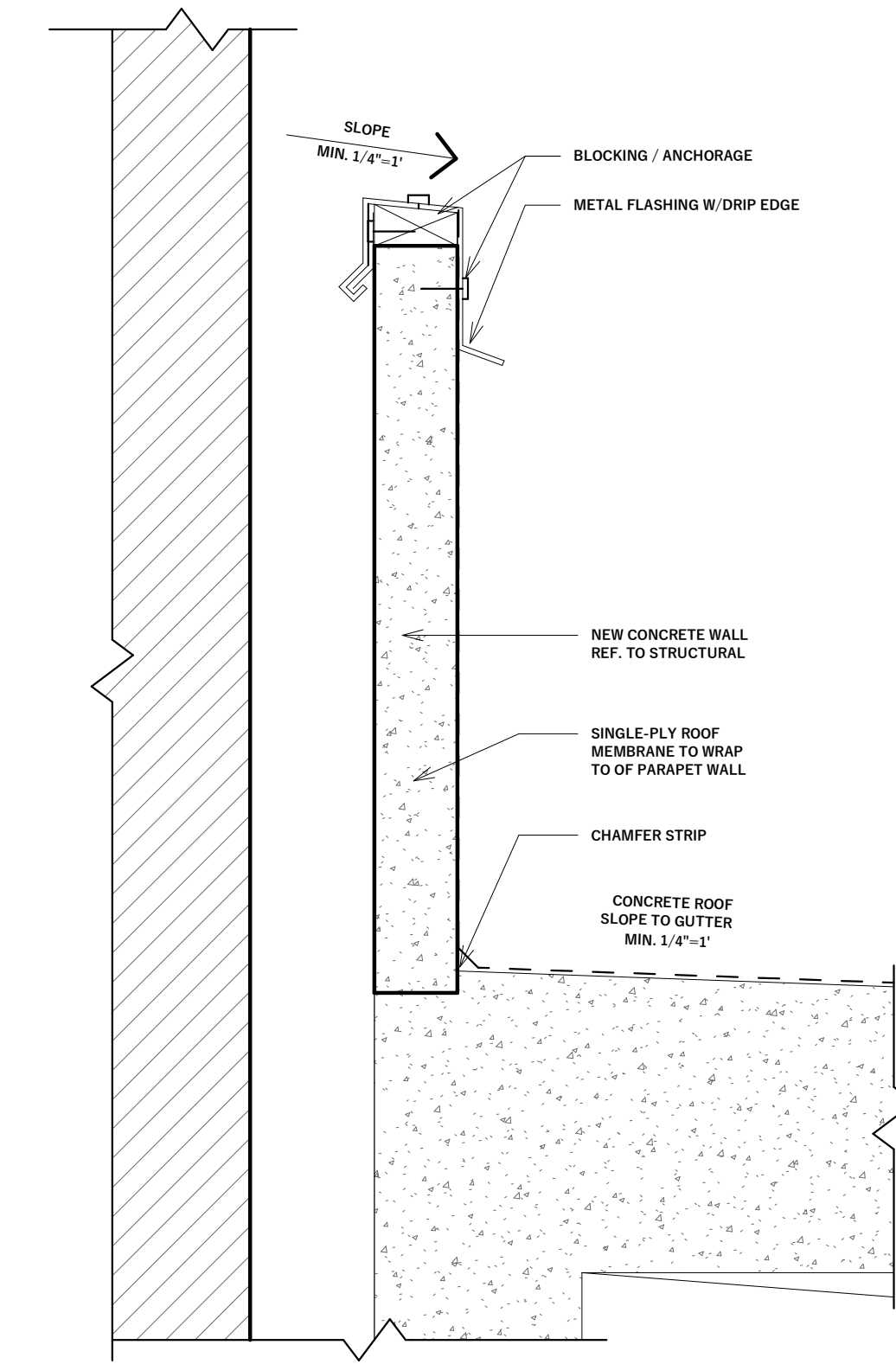
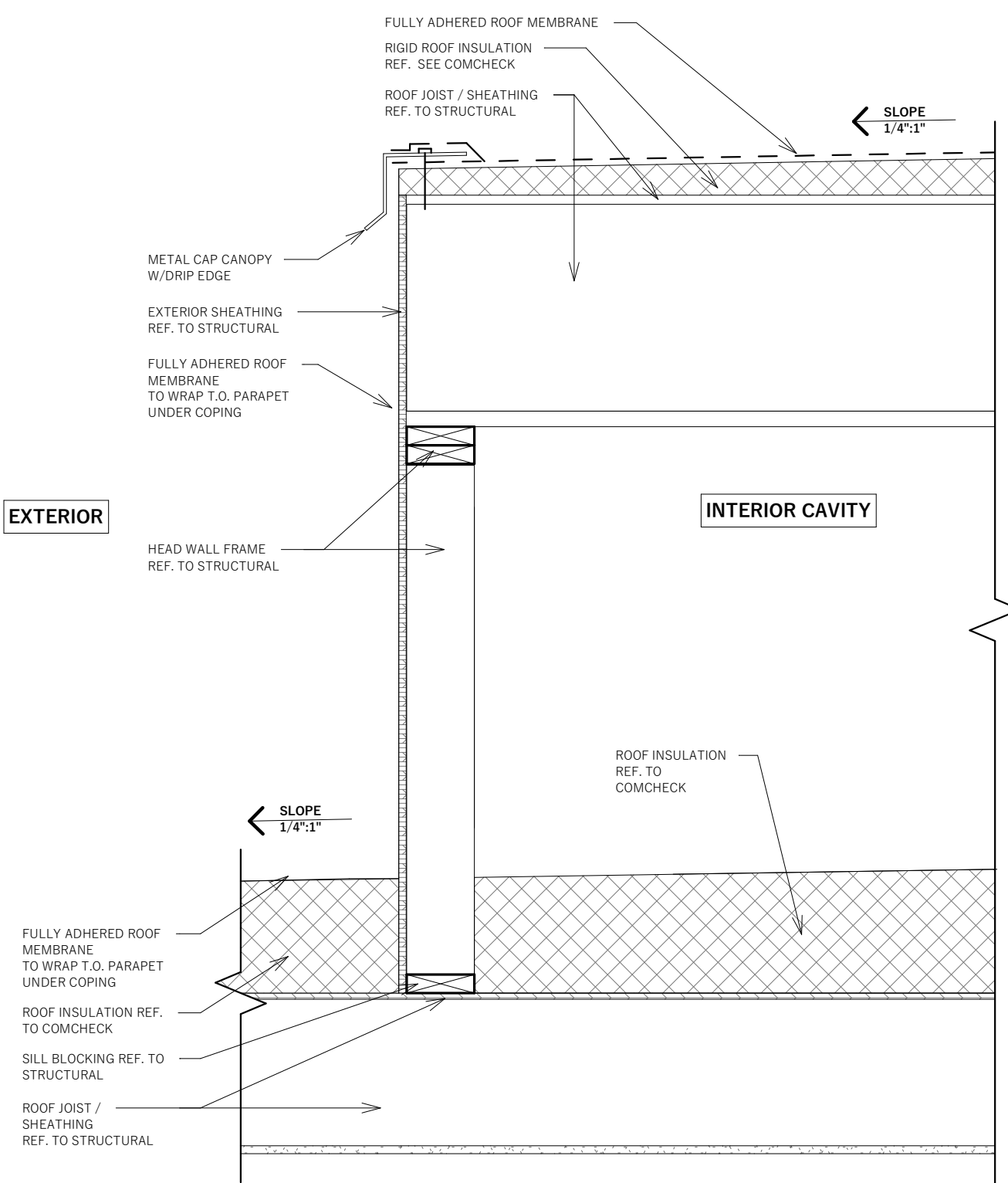


7
A9.1
WALL PARAPET@ DETAIL 1
1/2" = 1'-0"

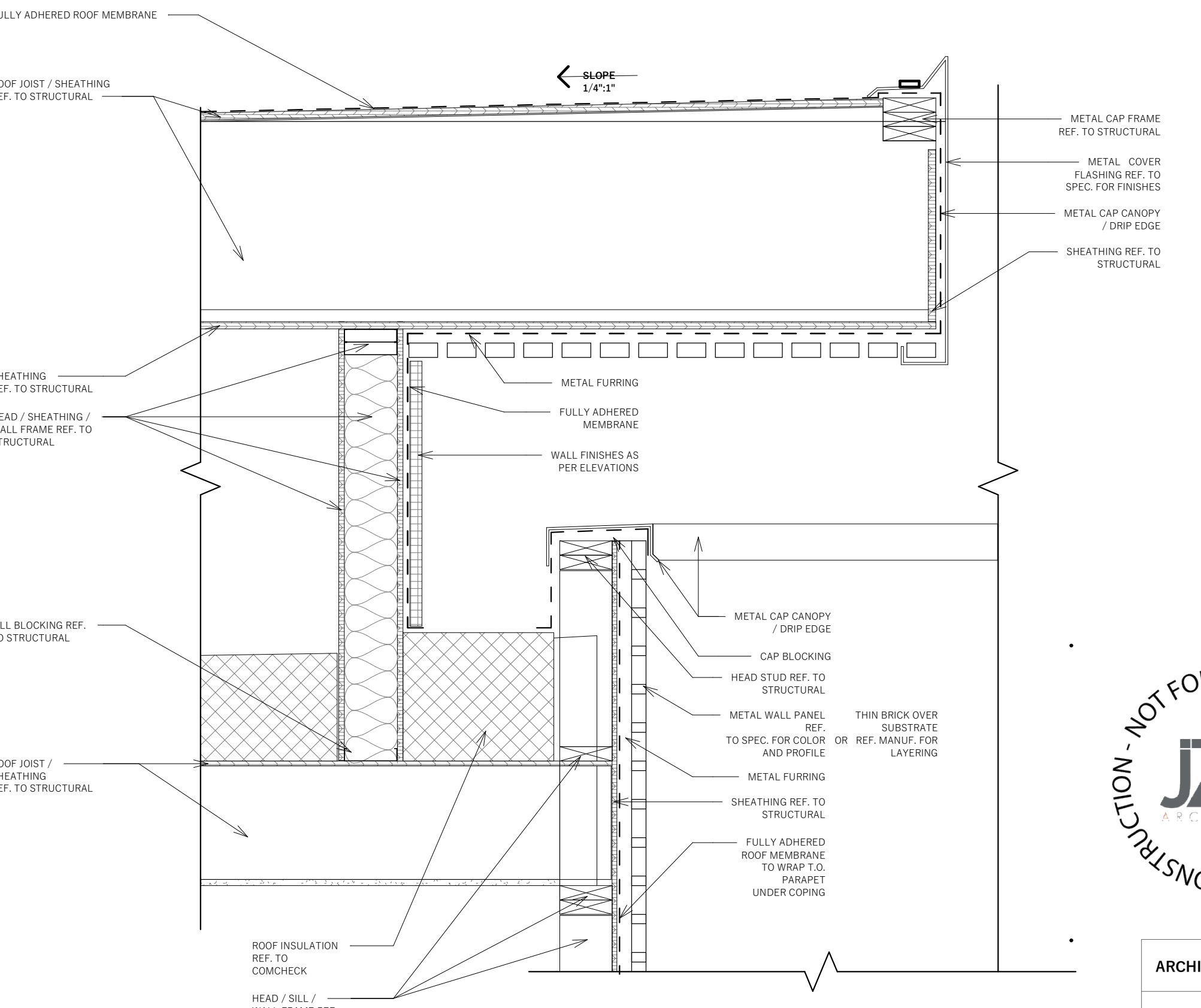


1
A9.1
WALL DETAIL@ ROOF PARAPET
1" = 1'-0"

9
A9.1
CANOPY DETAL 2
1" = 1'-0"



10
A9.1
WALL DETAIL@EXISTING BUILDING BRICK WALL
1 1/2" = 1'-0"



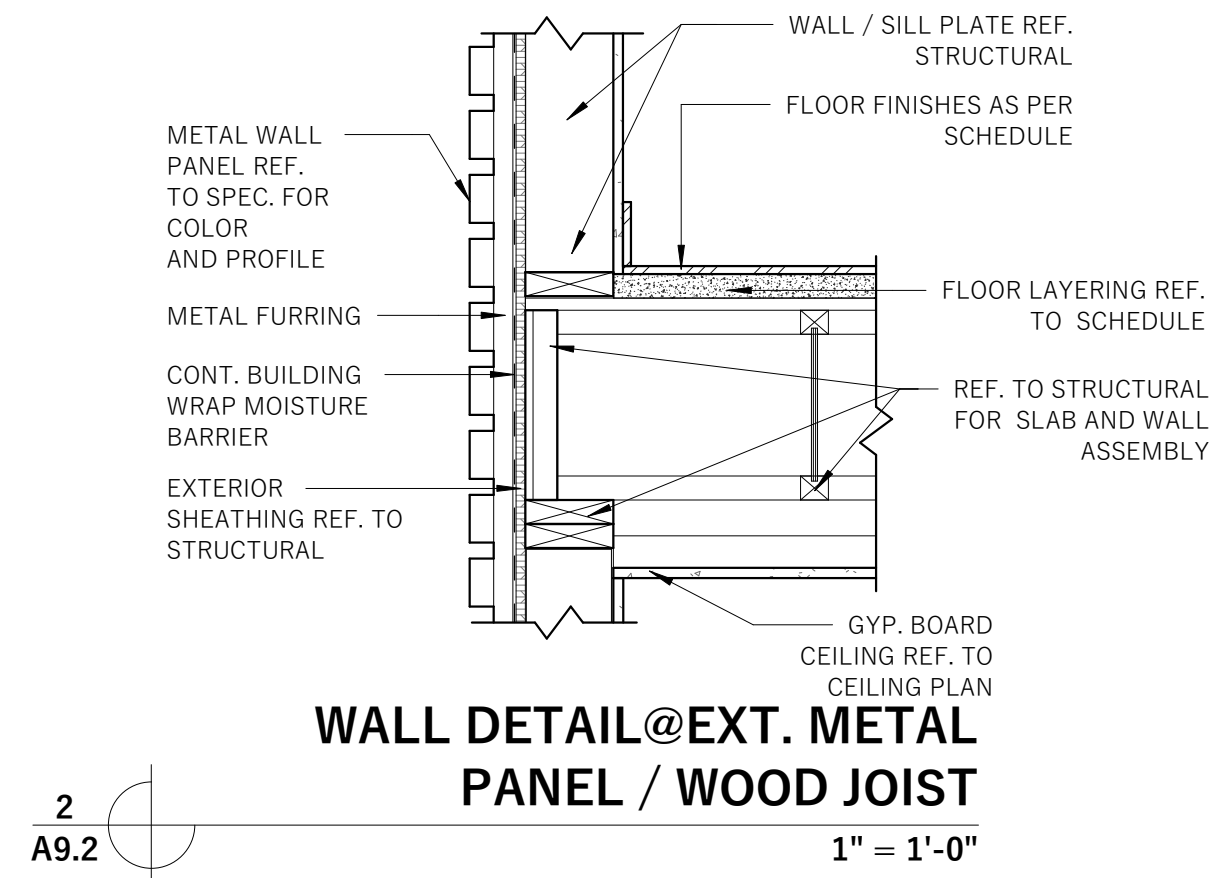
8
A9.1
CANOPY DETAL 1
1" = 1'-0"

FINISH NOTES

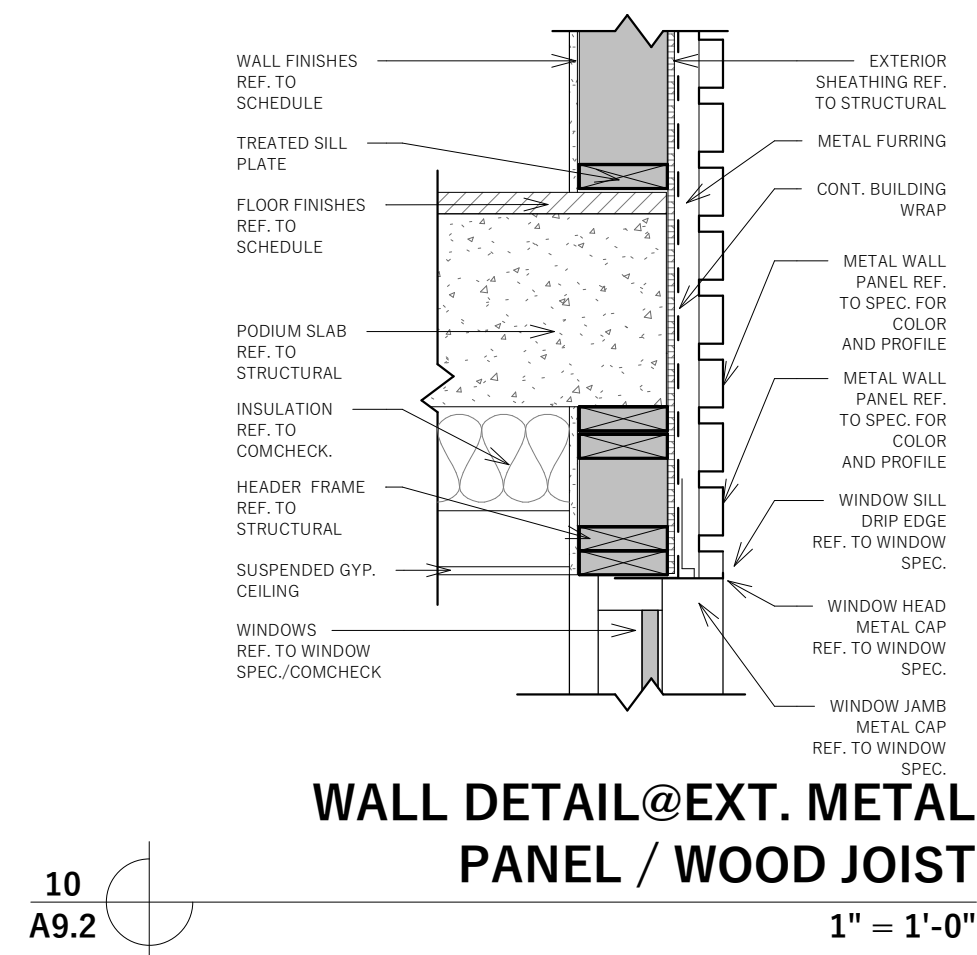
1. CONTRACTOR TO VERIFY MATERIAL SELECTION, LAYOUT, PATTERN, COLOR, ETC. WITH OWNER AND INTERIOR DESIGNER PRIOR TO ORDERING AND FABRICATION
2. CONTRACTOR TO PROVIDE DIMENSIONED SHOP DRAWINGS FOR ALL MILLWORK TO OWNER AND ARCHITECT PRIOR TO FABRICATION
3. CONTRACTOR TO COORDINATE ALL APPLIANCE SELECTIONS WITH OWNER AND ARCHITECT AND VERIFY DIMENSIONS ARE COMPATIBLE WITH MILLWORK



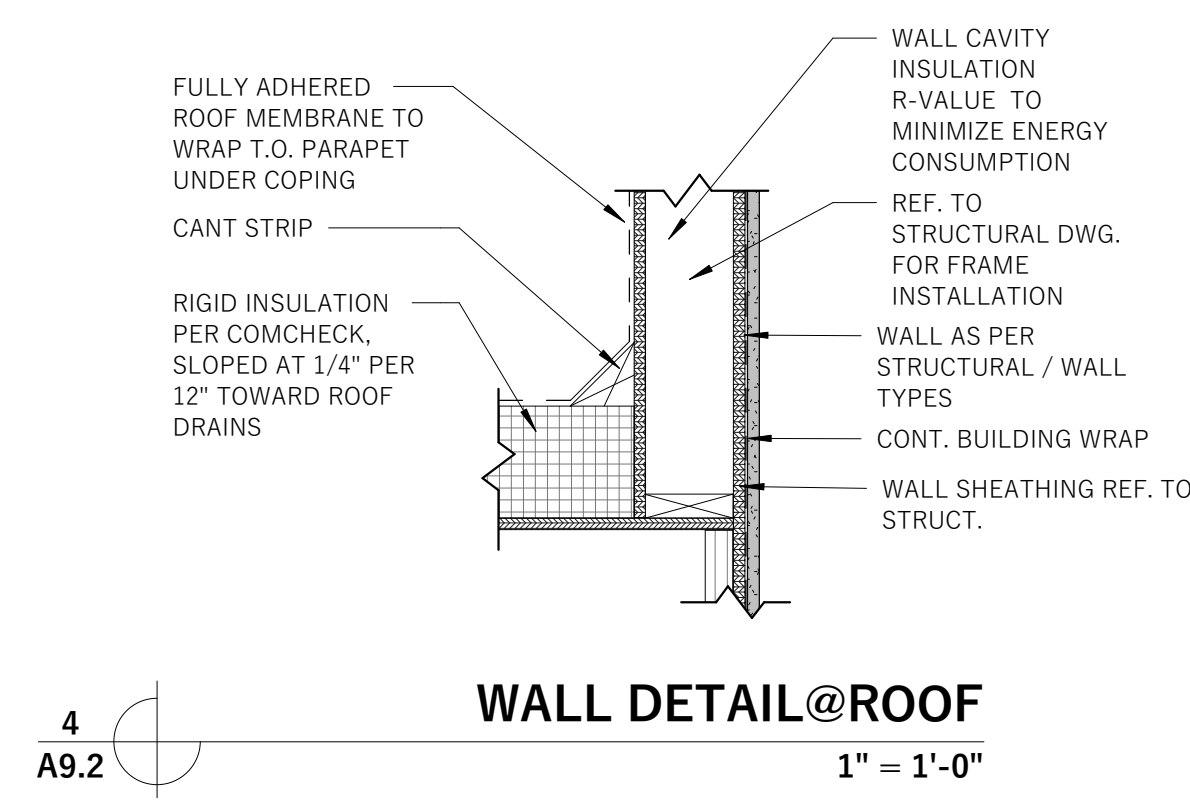
ARCHITECTURAL DETAILS
A9.1



WALL DETAIL@EXT. METAL PANEL / WOOD JOIST
1" = 1'-0"



WALL DETAIL@EXT. METAL PANEL / WOOD JOIST
1" = 1'-0"



WALL DETAIL@ROOF
1" = 1'-0"

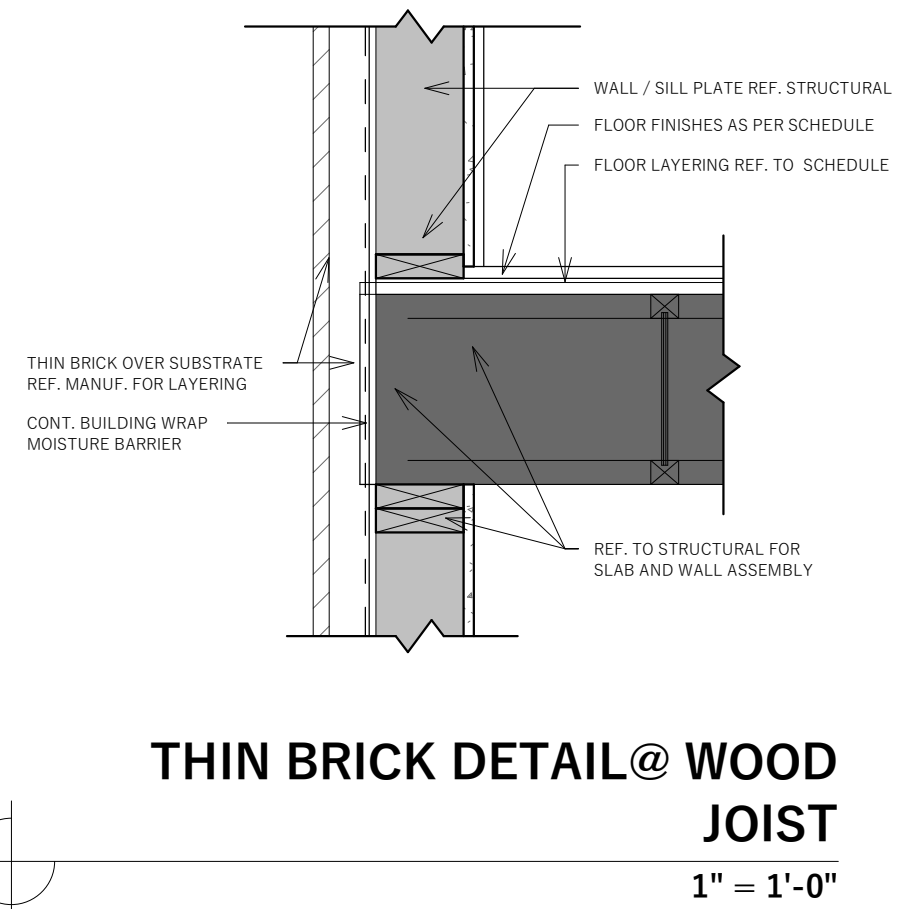
FINISH NOTES

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2
A9.2

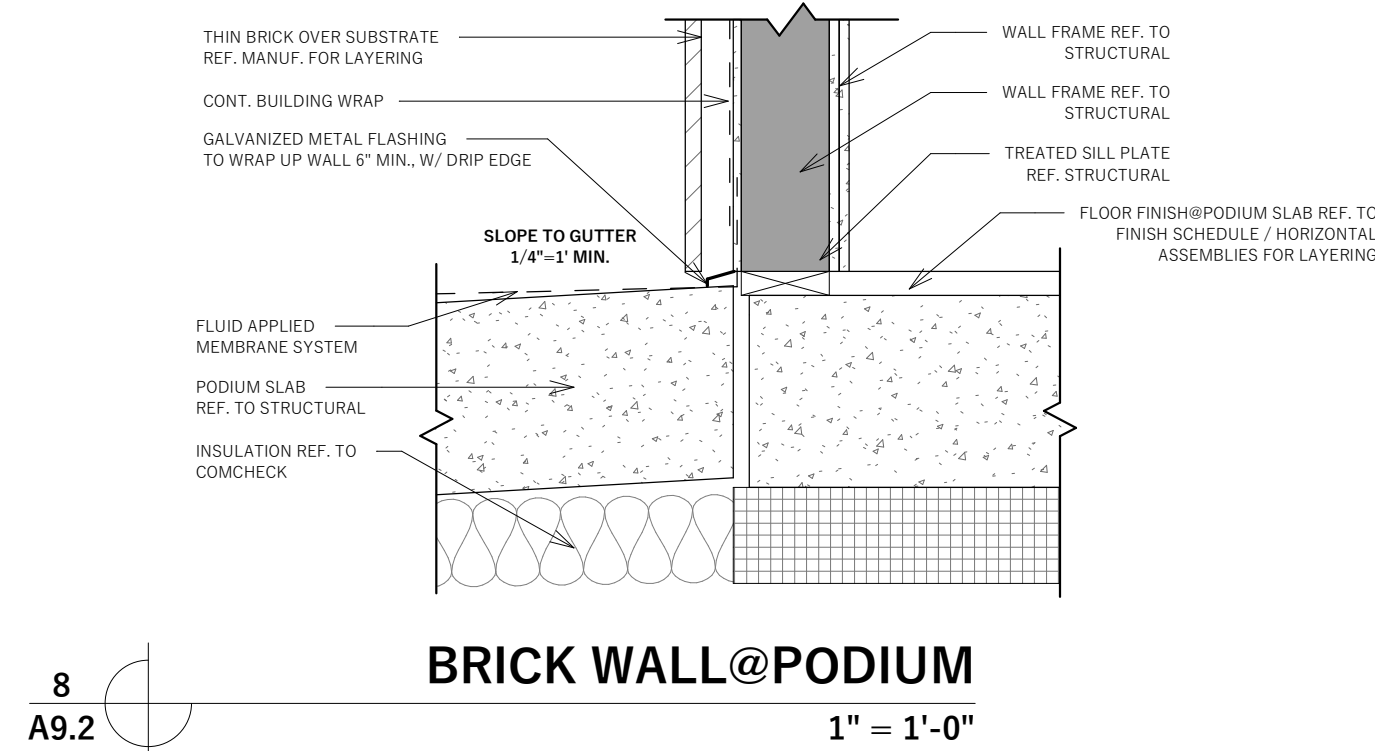
10
A9.2

4
A9.2



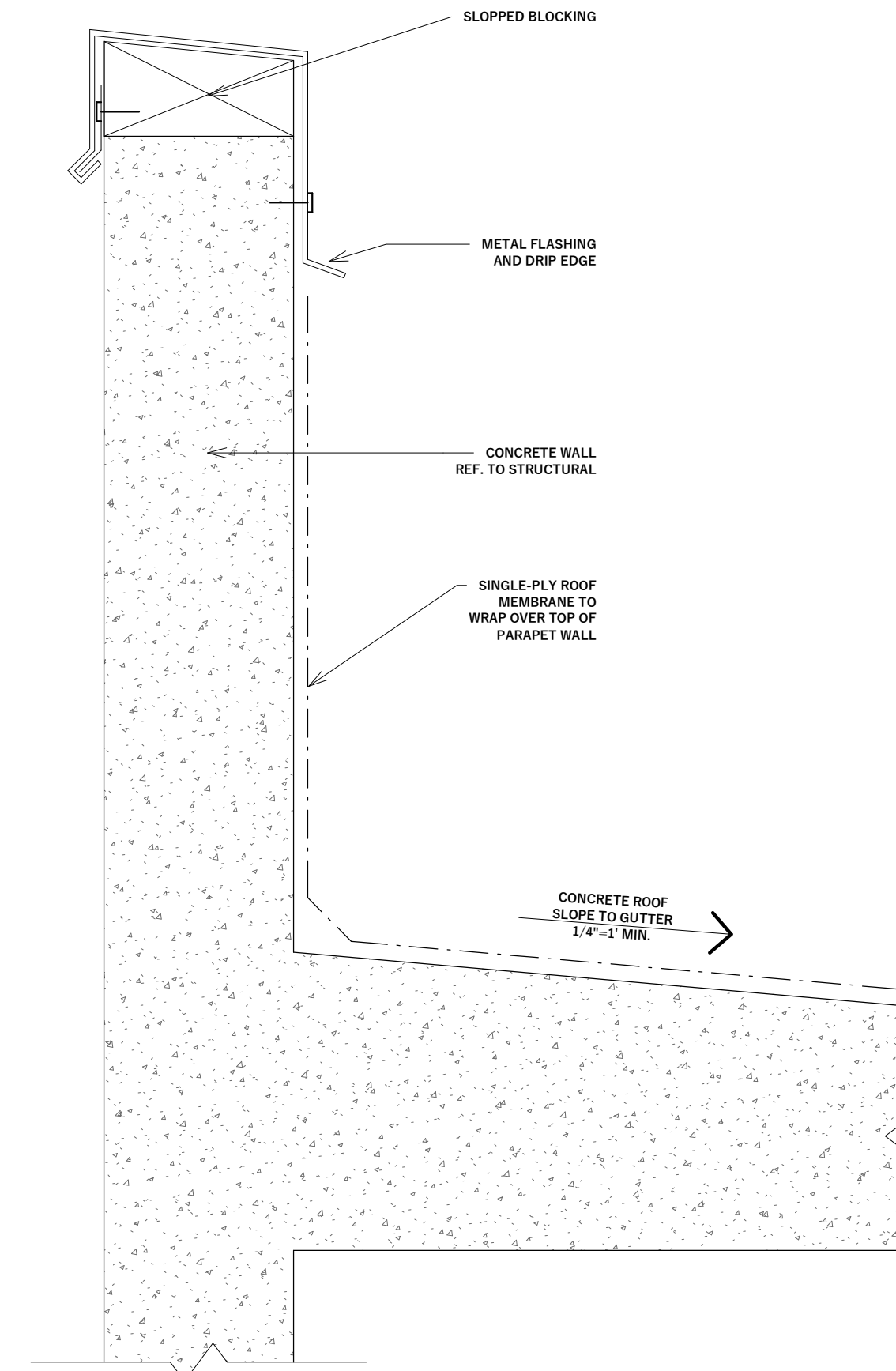
THIN BRICK DETAIL@ WOOD JOIST
1" = 1'-0"

7
A9.2



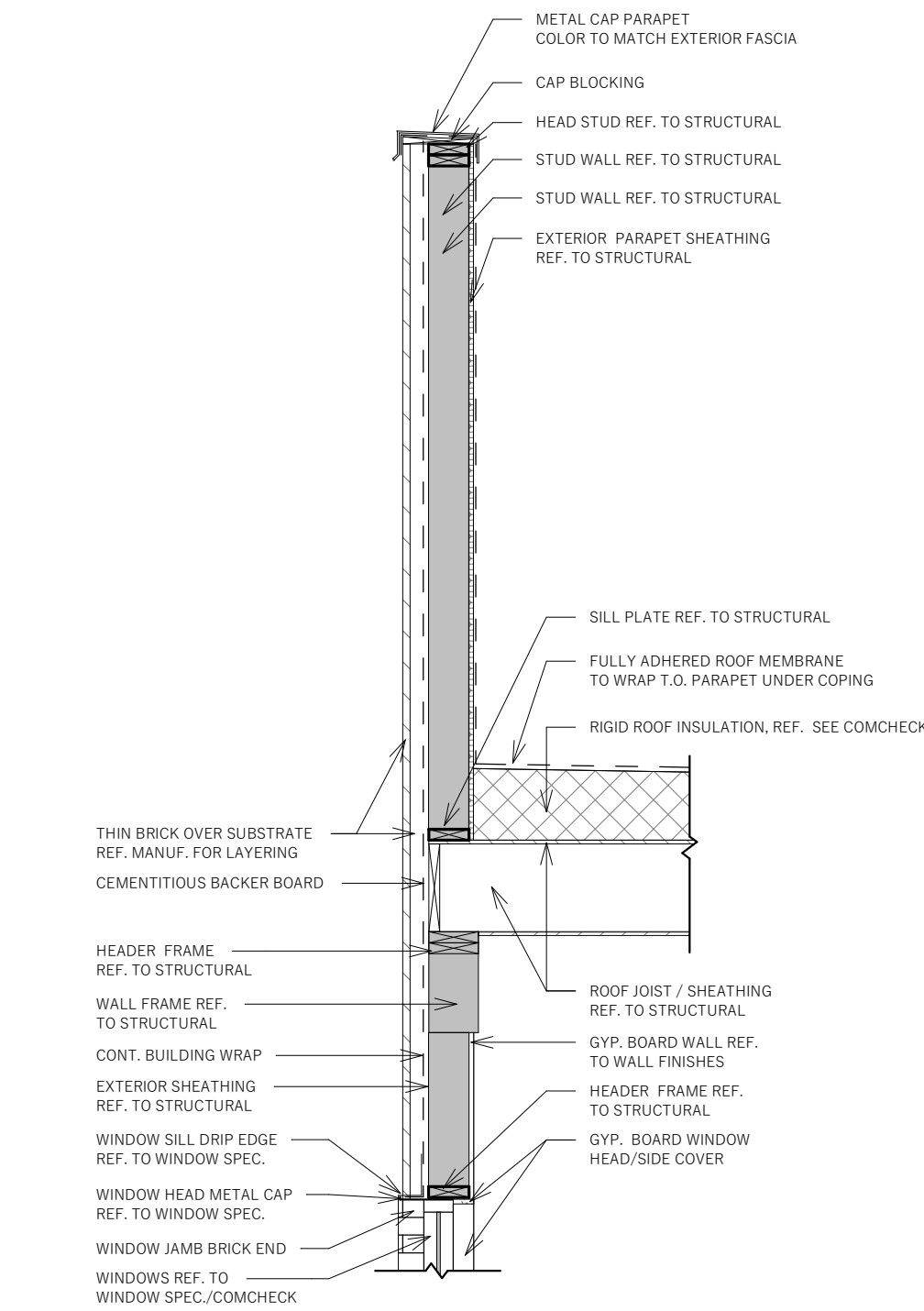
BRICK WALL@PODIUM
1" = 1'-0"

8
A9.2



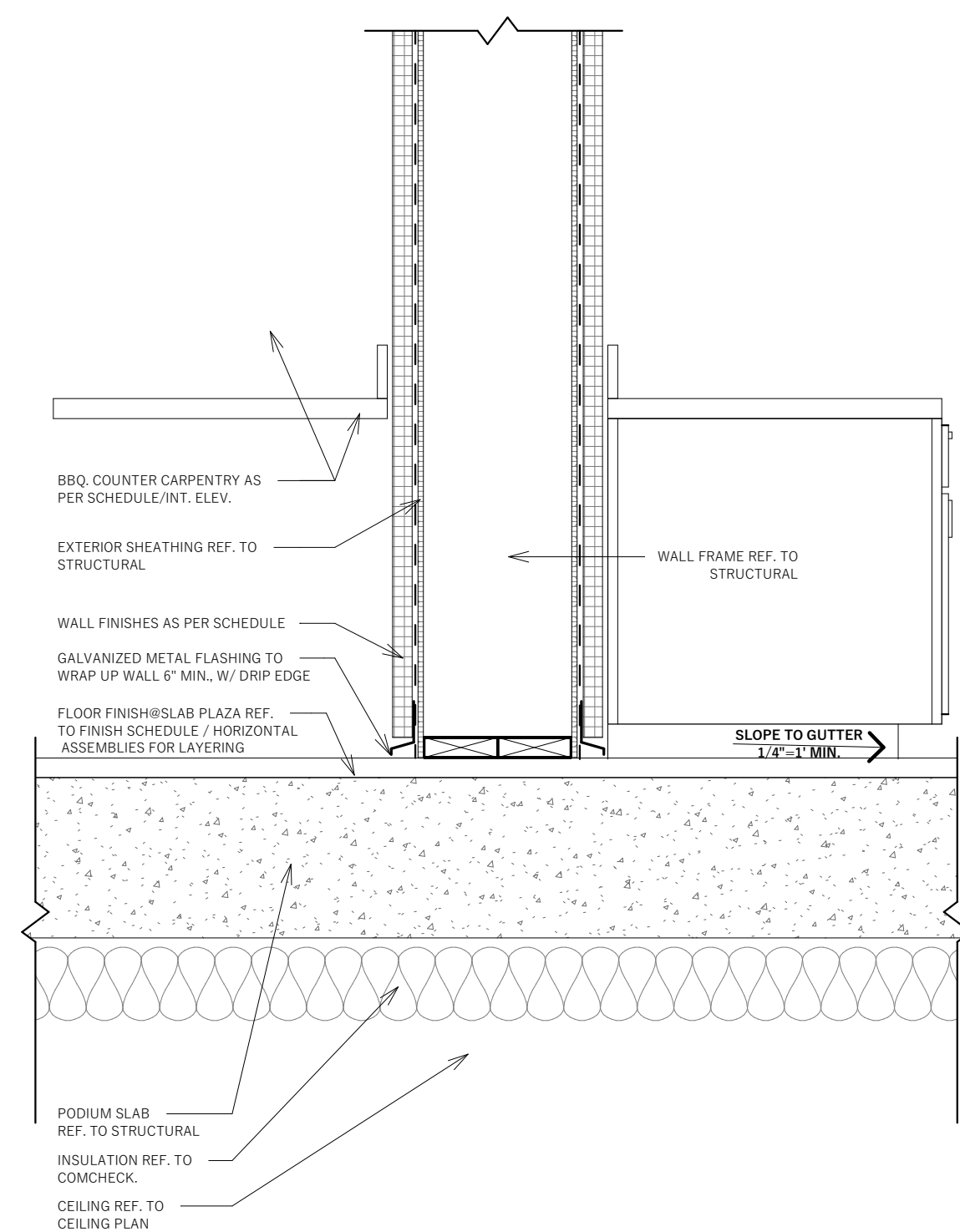
PARAPET WALL@ THIN BRICK
1/2" = 1'-0"

9
A9.2



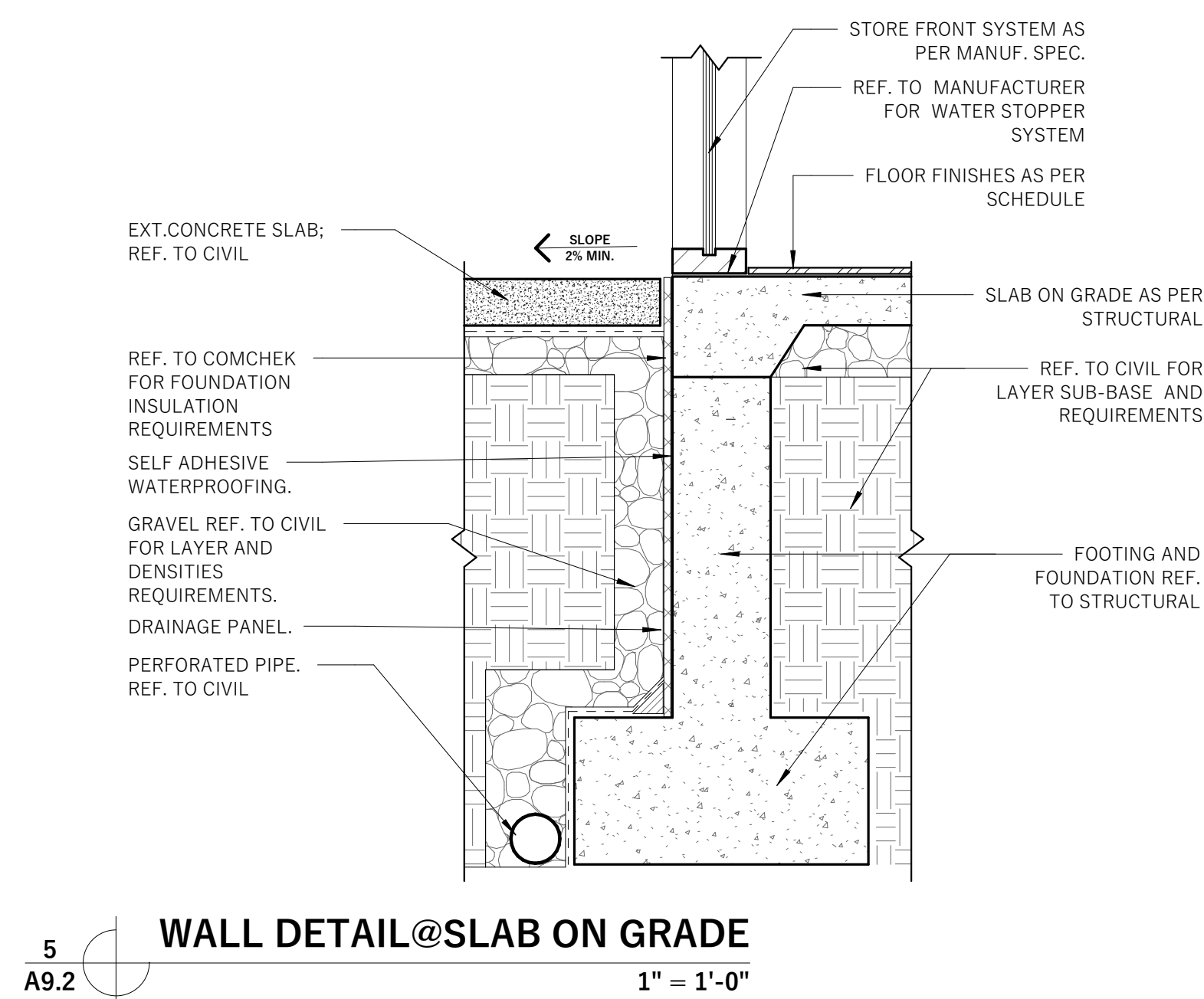
WALL DETAIL@PARKING SPACE
1 1/2" = 1'-0"

3
A9.2



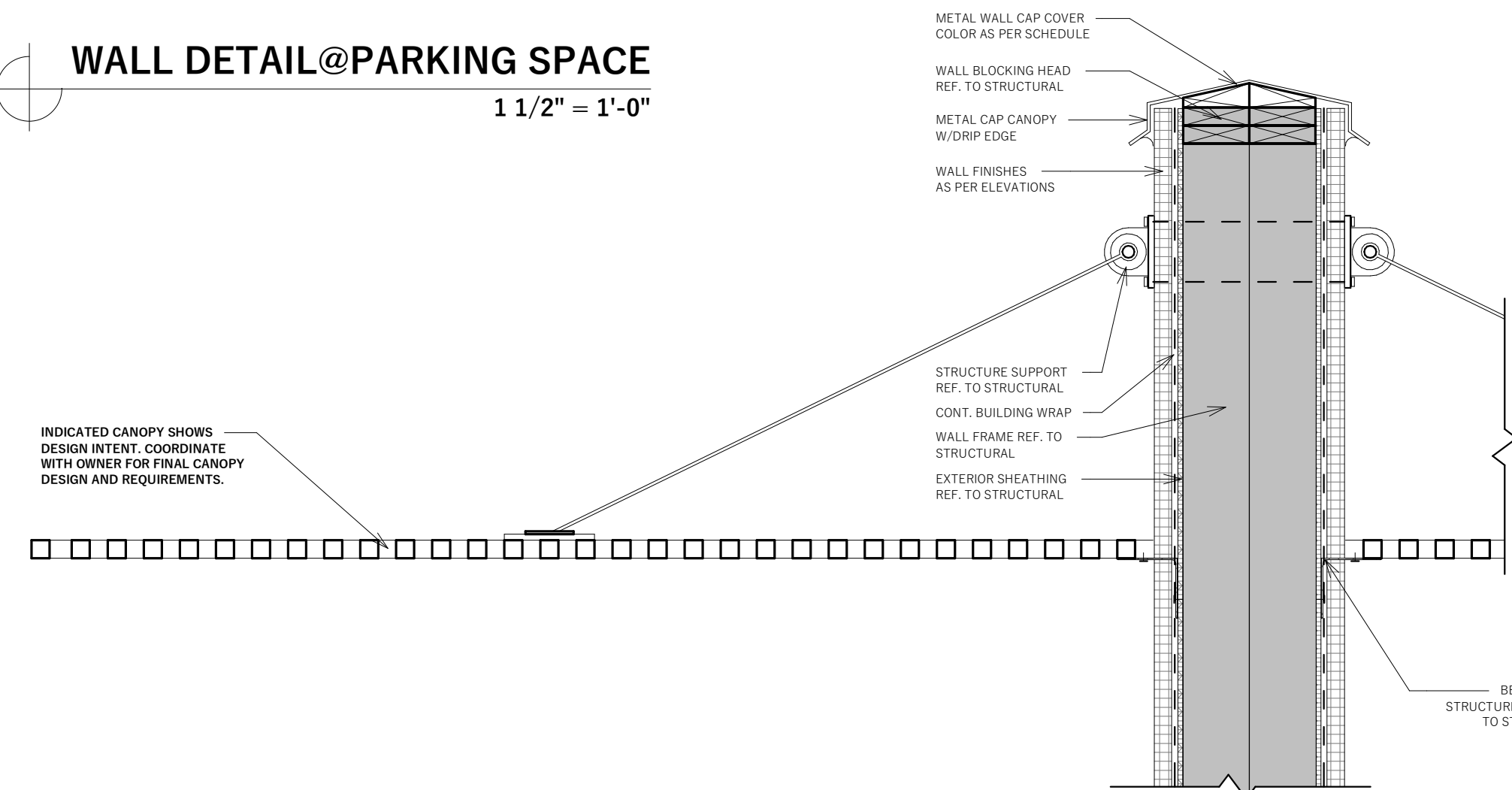
BBQ WALL DETAIL
1" = 1'-0"

1
A9.2



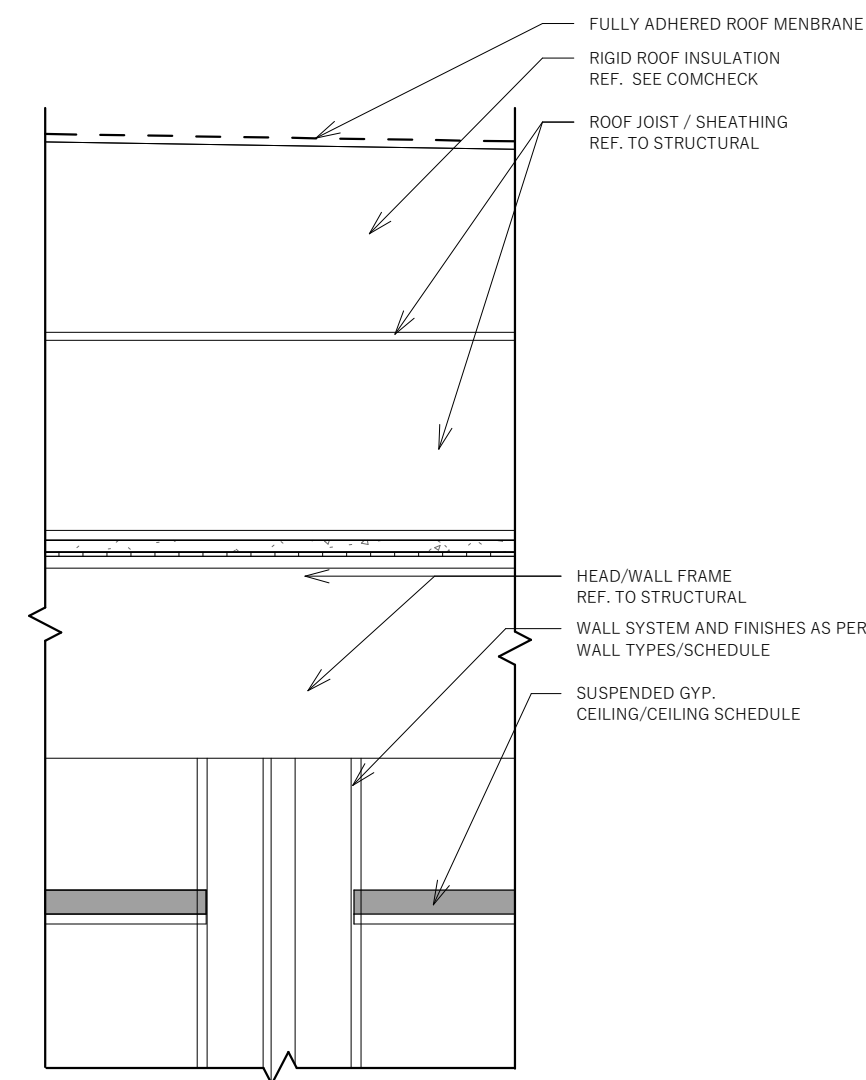
WALL DETAIL@SLAB ON GRADE
1" = 1'-0"

5
A9.2

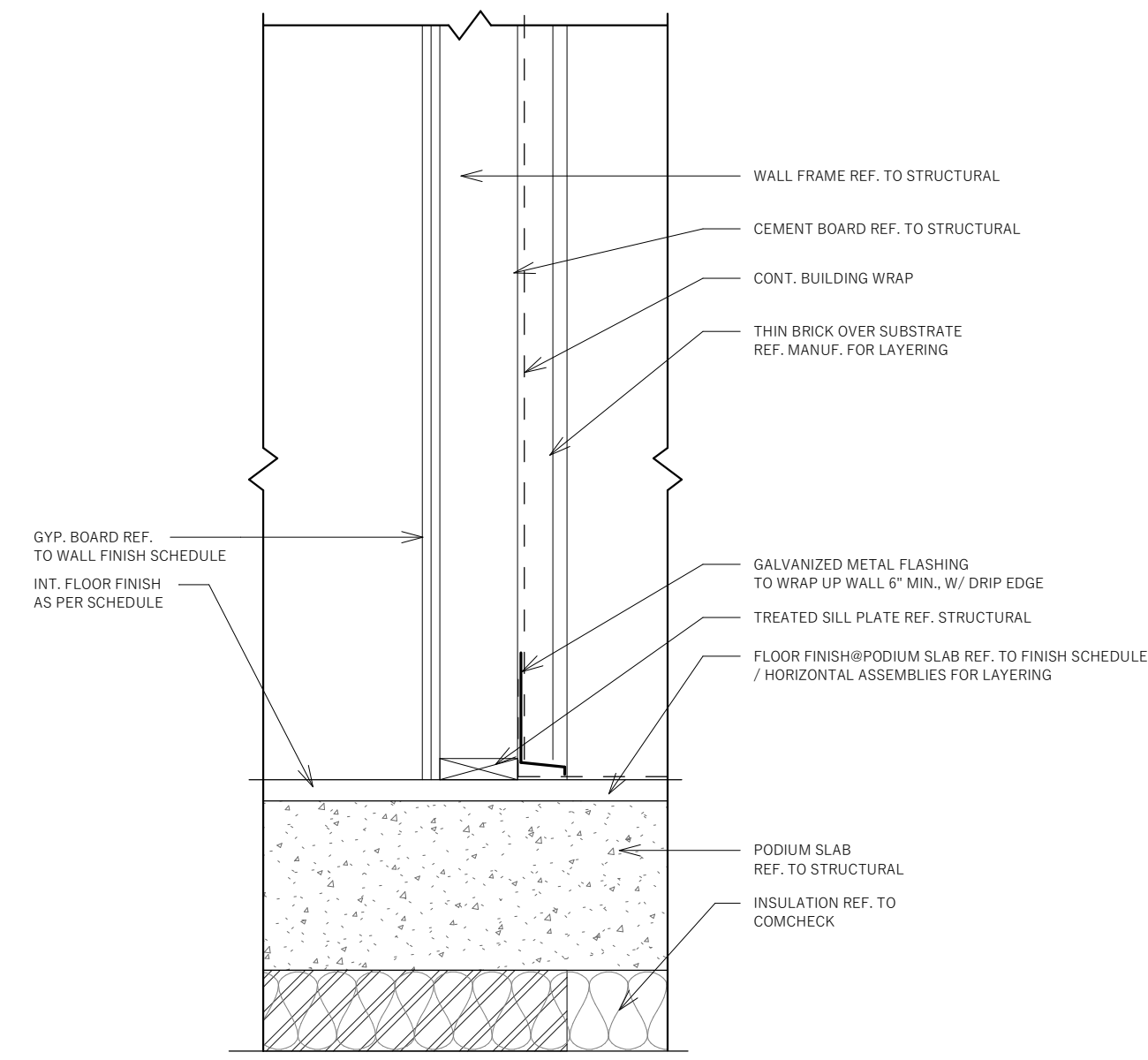


BBQ CANOPY WOOD STRUCTURE
1" = 1'-0"

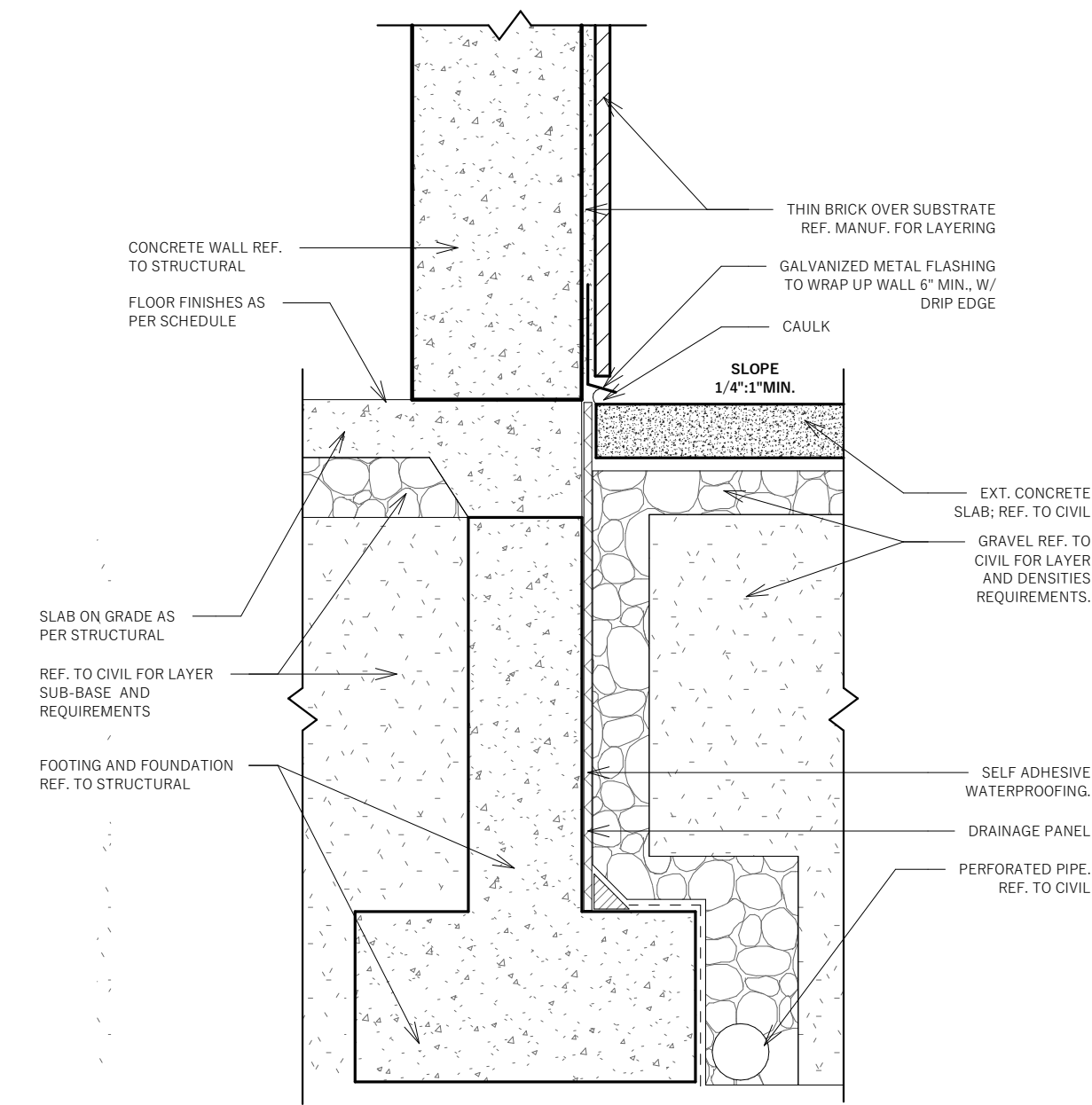
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A9.2



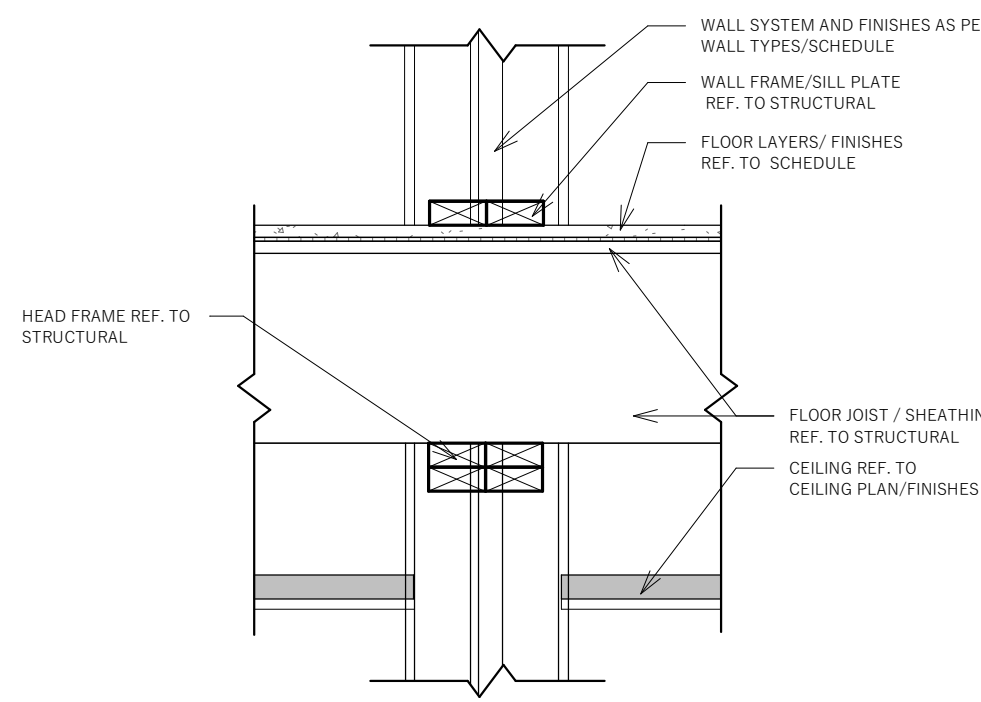
1
A9.3 **ROOF DETAIL@DEMISING WALL**
1" = 1'-0"



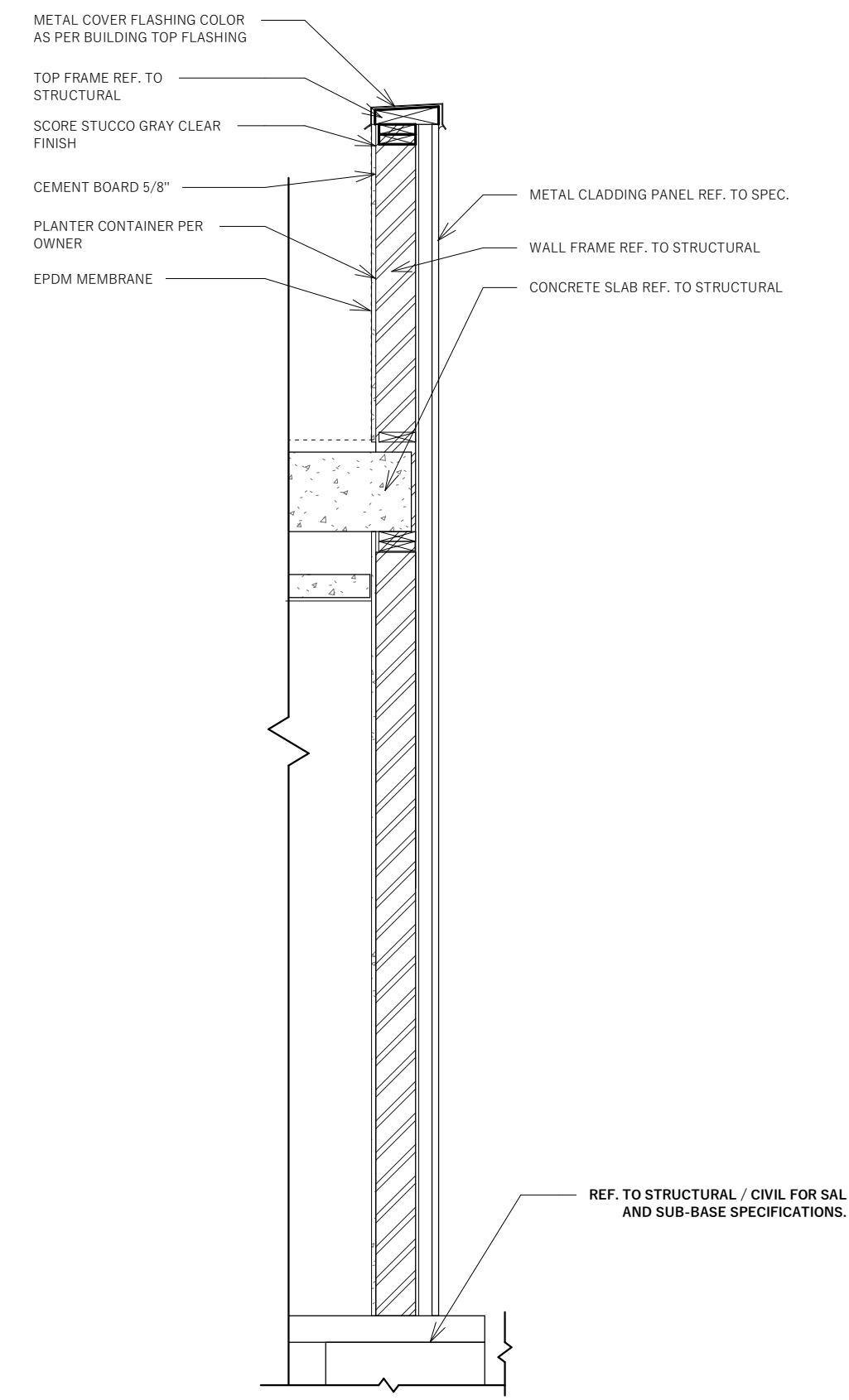
2
A9.3 **WALL DETAIL@PLAZA**
1" = 1'-0"



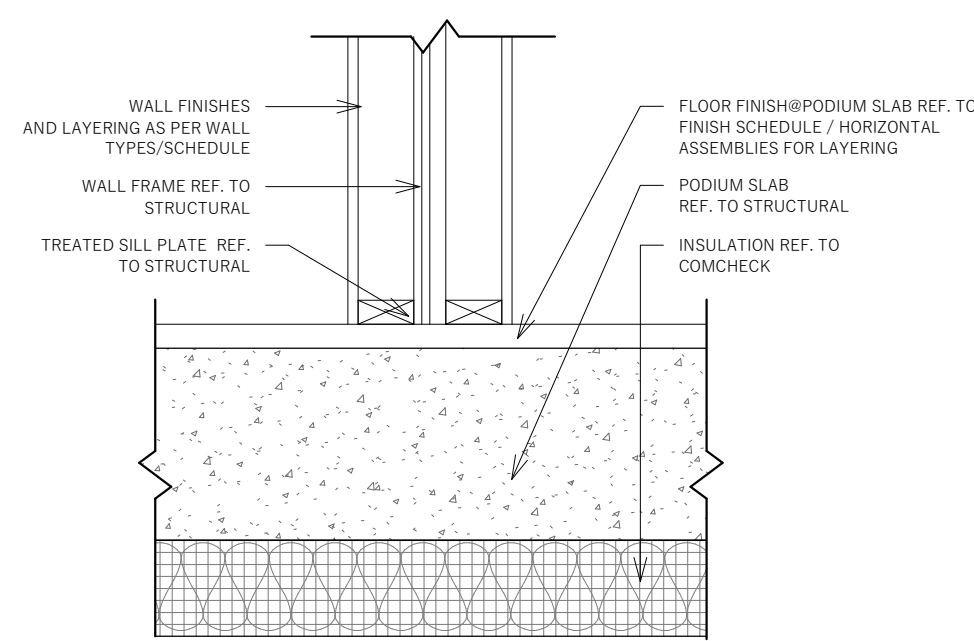
3
A9.3 **CONCRETE WALL DETAIL@EXT. PEDESTRIAN**
1" = 1'-0"



4
A9.3 **DEMISING WALL@FLOOR JOIST**
1" = 1'-0"



6
A9.3 **WALL DETAIL@PLAZA PLANTER**
1/2" = 1'-0"



5
A9.3 **DEMISING WALL@PODIUM**
1" = 1'-0"

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