CHICAGO ST. APARTMENTS

ROOFTOP AMENITY SPACE

45 NORTH CHICAGO ST, SALT LAKE CITY, UT 84116

PLANNED DEVELOPMENT PROPOSAL

09.27.2023

PROPOSAL CONTENTS:

DESIGN WEST ARCHITECTS + ADVANTIS DEVELOPMENT

PROJECT OVERVIEW

Project Description:

Chicago St. Apartments is a transit-oriented development in the 800 West Station Area of Salt Lake City. Positioned between North Temple's Trax line and the Folsom Corridor Trail, this 6-story apartment building's ideal tenants care about the environment and minimizing their carbon footprint.

- Number of buildings: 1
- Size of building: 110,034 s.f.
- Number of units: 120
- Overall dwelling unit density: 120 units
- TSA Development Score: 136
- Average floor height 10 ft

The development features 120 units including studios, one-bedroom and two-bedroom unit configurations. Key features include a center courtyard and work-from-home studios; if approved, it will also feature a south and east facing rooftop amenity deck for outdoor gathering and community gardening.

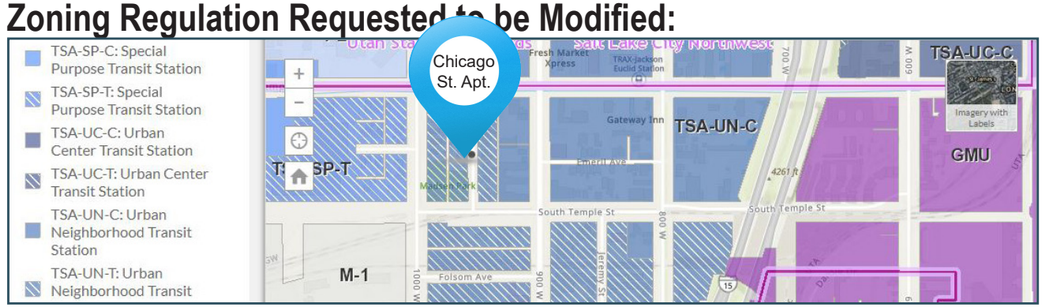
CHICAGO STREET APARTMENTS - EAST ELEVATION
preliminary concept design

PROJECT OVERVIEW (CONT.)

Proposal of Modification to Zoning Regulations:

Chicago St. Apartments has attained a TSA Development Score of 136. Located in a TSA-UN-T Zone, we are seeking approval through administrative review for a rooftop deck / amenity space.

Zoning Regulation Requested to be Modified:



- Chicago Street Apartments has a TSA Development Score of 136.
- Located in a TSA-UN-T Zone, this building is currently allowed a maximum sixty (60) feet building height as found in Table 21A.26.078.E.2 (50 feet allowed). Using section 21A.26.078.E.2.b, 1 additional story of 10 feet (average of all other stories) is allowed.
- 21A.26.078.E.2.b states: *"Projects that achieve a development score that qualifies for administrative review are eligible for an increase in height. The increase shall be limited to one story of habitable space. The height of the additional story shall be equal to or less than the average height of the other stories in the building. This is in addition to the height authorized elsewhere in this title."*
- We are seeking allowance for use of the current rooftop to be used as an amenity space / rooftop deck for outdoor gathering and community gardening.
- Granting our request helps fulfill SLC Planned Development objectives of preserving open space through community gathering and community gardens on the rooftop amenity deck.

Provisions for care and maintenance of open space/recreational facilities:

With acceptance of this proposal, care and maintenance of this space shall fall under the responsibility of the property owner.

Plan for long term maintenance of private infrastructure:

With acceptance of this proposal, long term maintenance of this space shall fall under the responsibility of the property owner.

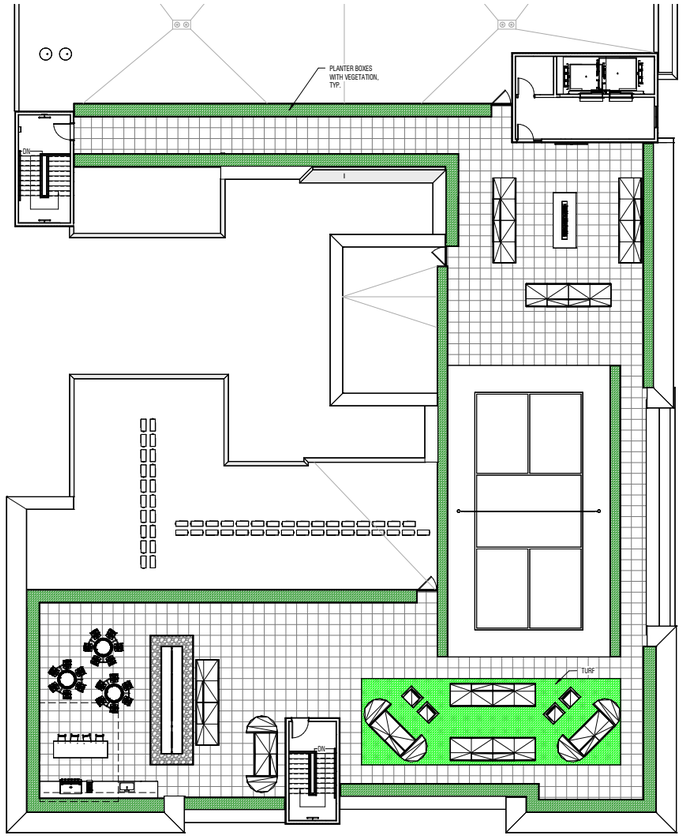
PLANNED DEVELOPMENT INFORMATION

Standards for Planned Development (21A.55.010)

The Planning Commission may approve, approve with conditions, or deny a planned development (pd) based upon written findings of fact according to each of the following standards. It is the responsibility of the applicant to provide written and graphic evidence demonstrating compliance with [City's] standards.

Our proposal outlines how Chicago St. Apartments meets and fulfills the City's goals for the TSA-UN-T Zone including:

A. Planned Development Objective Fulfilled:
   Open Space & Natural Lands - Community Gathering & Garden
B. Master Plan Compatibility
C. Design And Compatibility
D. Landscaping
E. Mobility
F. Existing Site Features
G. Utilities



Perfectly located between a UTA Trax line and Folsom Corridor Trail, Chicago St. Apartments appeals to tenants who care about the environment and want to minimize their carbon footprint.

Granting our request helps fulfill SLC Planned Development objectives of preserving open space through community gathering space and community garden.

See Amenity Rooftop Deck preliminary concept design floorplan (right) for details of intended design. See Rooftop amenity plan below.

PD OBJECTIVES FULFILLED

Planned Development Objectives Fulfilled:

The City seeks to achieve at least one or any combination of the following objectives through the planned development process (21A.55.010).

A. Open Space And Natural Lands: Preserving, protecting or creating open space and natural lands.

1. *Inclusion of community gathering places or public recreational opportunities...playgrounds or other similar types of facilities....*
5. *Inclusion of local food production areas, such as community gardens. (21A.55.010.A).*

A.4.1 - Open Space And Natural Lands: Community Gathering Places

Chicago St. Apartment is an efficient design that helps address the City's housing shortage. Granting our request fulfills PD Objective A.4.1 by providing community gathering places on the rooftop amenity deck.

A.4.5 - Open Space And Natural Lands: Community gardens

Chicago St. Apartment's ideal tenant cares about the environment and about the food they consume. Granting our request fulfills PD Objective A.4.5 by providing community garden space comprised of individual garden plots that are available to interested tenants on the amenity rooftop deck.

This provides residents with the space to grow their own food. Utilizing a common area for this purpose not only strengthens the community of those who use this space, but also helps inspire a wider interest in independent and organic food production.

The rooftop is an ideal location for this garden space, re-purposing a large amount of otherwise underutilized square footage, as well as providing residents access to direct sunlight and rainfall in an urban space.

EXAMPLE COMMUNITY GATHERING SPACE / GARDEN

MASTER PLAN COMPATIBILITY

Master Plan Compatibility:

The proposed planned development is generally consistent with adopted policies set forth in the Citywide, community, and/or small area Master Plan that is applicable to the site where the planned development will be located (21A.55.050.B).

Master Plan Neighborhood:

North Temple Boulevard - 800 West Station Area

Neighborhood Vision:

The 800 West Station Area will become a transit-oriented neighborhood that is designed for the pedestrian, with safe, accessible streets, buildings with windows and doors next to the sidewalk, and ***public places where people can safely gather and interact with others.*** *The area will be connected to nearby places through a series of sidewalks, bicycle paths, trails and streets that are safe, convenient, comfortable and interesting.* (http://www.slcdocs.com/Planning/MasterPlansMaps/NTMP.pdf)

Master Plan Goal: "Placemaking:"

Policy #3: Placemaking - Create safe, vibrant and useful public spaces. The public spaces within the station area help create a sense of place and are important to the creation of urban "living rooms." (North Temple Boulevard Master Plan/Neigborhood Vision pg 61)

CHICAGO ST. APARTMENTS NEIGHBORHOOD MAP SHOWING PROXIMITY OF SIMILAR PROJECTS

MASTER PLAN COMPATIBILITY (CONT.)

Master Plan Compatibility:

Chicago St. Apartment's design is focused on fulfilling the Neighborhood Vision of the 800 West Station Area. The transit-oriented design aims to improve the pedestrian environment and create a safe, vibrant space through street-facing storefronts as well as canopy lighting which contribute to a brighter public sidewalk in the evening. This dwelling also addresses the neighborhood's need for higher density housing, fitting 120 units on a 1/2 acre of land.

Granting our request is compatible with the neighborhood's Master Plan and Neighborhood Vision as the inclusion of a rooftop amenity space will only further meet this neighborhood's standards.

North Temple Boulevard/800 West Station's Master Plan includes Strategy #3 "Placemaking" as described on page 61 of the neighborhood's vision. Granting the use of the current rooftop as an amenity space request for Chicago St. Apartments helps the City fulfill its Placemaking Strategy 3.C requiring all development along the City Creek Corridor and Folsom Avenue be oriented toward the open space to provide "eyes" on Madsen Park and the Folsom Trail. The rooftop amenity space provides for community gathering and garden space which improves the visual connection to Madsen Park, improving public safety and contributing to the Master Plan. *(North Temple Boulevard/800 West Station's Master Plan - Placemaking Strategy 3)*

In addition, Placemaking Strategy 3.B states: *"Public spaces on private property, such as plazas at building entrances, should be inviting, comfortable and distinguishable from public property. c. Elements in public spaces should be appealing to the senses. This can be accomplished by using materials of various colors or textures, adding features that create sound and movement...and using native landscaping materials that produce different scents, or textures." (North Temple Boulevard/800 West Station's Master Plan - Placemaking Strategy 3.B)*

Granting our request is compatible with the neighborhood's Master Plan and Neighborhood Vision because placing planter boxes around the East and South perimeters of the roof creates a "sense of place" by appealing to the senses of those in the space and within neighboring buildings—as well as those below—through added visual interest, movement, and texture.

Additionally, granting our request is compatible with the neighborhood's Master Plan and Neighborhood Vision as stated in Strategy 4.D as it encourages a variety of housing types including high density housing like Chicago St. Apartments. *(North Temple Boulevard/800 West Station's Master Plan - Placemaking Strategy 4)*

DESIGN & COMPATIBILITY

Design & Compatibility:

The proposed planned development is compatible with the area the planned development will be located and is designed to achieve a more enhanced product than would be achievable through strict application of land use regulations (21A.55.050.C).

1. *Is scale, mass, and intensity of the proposed planned development compatible with the neighborhood where the planned development will be located and/or the policies stated in an applicable Master Plan related to building and site design?*

   Yes. Granting our request increases the usable space of the currently proposed building, specifically allowing the use of the rooftop for an amenity space. The overall building scale, mass, and intensity will not differ from original designs.

2. *Is the building orientation and building materials in the proposed planned development compatible with the neighborhood where the planned development will be located and/or the policies stated in an applicable Master Plan related to building and site design?*

   Yes. The building orientation and materials will stay consistent with original design intentions, which are compatible with current neighborhood Master Plan.

3. *Do building setbacks along the perimeter of the development maintain the visual character of the neighborhood or the character described in the applicable Master Plan, provide sufficient space for private amenities, provide sufficient open space buffering between the proposed development and neighboring properties to minimize impacts related to privacy and noise, provide adequate sight lines to streets, driveways and sidewalks, and provide sufficient space for maintenance?*

   Yes. Building setbacks are designed to zoning code, and additional rooftop space will allow for more space for private amenities.

4. *Do building facades offer ground floor transparency, access, and architectural detailing to facilitate pedestrian interest and interaction?*

   Yes. Building facade will not differ from original plans, which are designed to zoning code and TSA design guidlines.

DESIGN & COMPATIBILITY (CONT.)

Design & Compatibility:

The proposed planned development is compatible with the area the planned development will be located and is designed to achieve a more enhanced product than would be achievable through strict application of land use regulations (21A.55.050.C).

5. *Is lighting designed for safety and visual interest while minimizing impacts on surrounding property?*

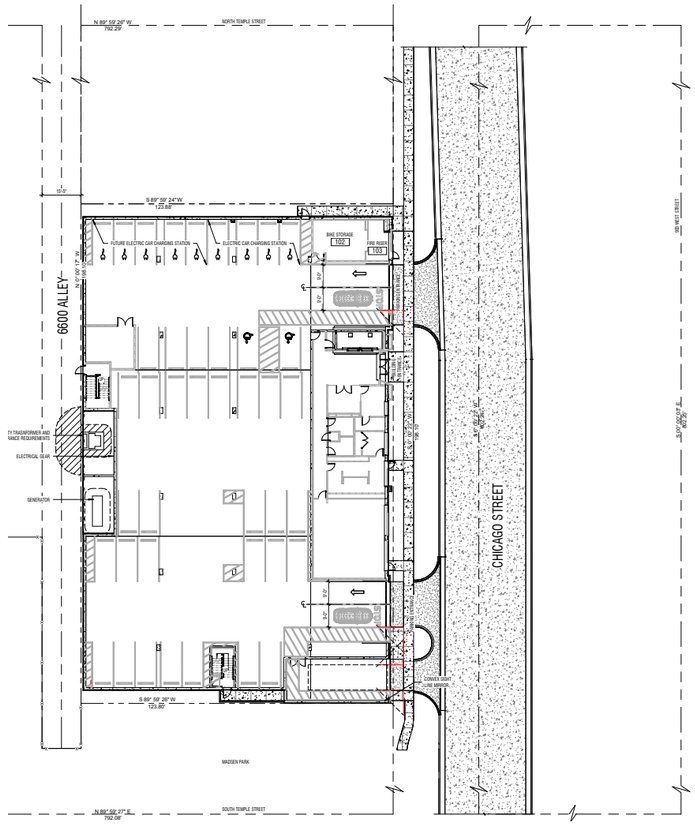
   Yes. Building lighting will not differ from original plans, which are designed to zoning code and TSA design guidlines.

6. *Are dumpsters, loading docks and/or service areas appropriately screened?*

   Yes. Building dumpsters and loading docks will not differ from original plans, which are designed to zoning code.

7. *Are parking areas appropriately buffered from adjacent uses?*

   Yes. Building parking areas will not differ from original plans, which are designed to zoning code.



CHICAGO ST. APARTMENTS
preliminary concept design

LANDSCAPING

Landscaping:

The proposed planned development preserves, maintains or provides native landscaping where appropriate. In determining the landscaping for the proposed planned development, the Planning Commission should consider: Whether proposed landscaping is designed to lessen potential impacts created by the proposed planned development; and whether proposed landscaping is appropriate for the scale of the development (21A.55.050.D3-4).

The current landscape design provides required trees along perimeter in accordance with zoning code.

Granting our request provides appropriate landscaping that would otherwise not be possible on the site with the current building footprint. The rooftop amenity space will include garden space as well as other native/environmentally beneficial vegetation on otherwise unused urban rooftop.

Increasing the amount of vegetation on site not only helps meet the Master Plan's goal of "Placemaking" by making a more visually interesting design, but also will benefit the physical and emotional health of the tenants. This space can improve productivity and increase job satisfaction levels among employees who work from home. In fact, several studies have shown that regular contact with nature not only improves people's overall sense of wellbeing, but also contributes to a healthier lifestyle. *(North Temple Boulevard/800 West Station's Master Plan - Placemaking Strategy 3)*

Granting our request also helps improve air quality and combat the urban heat island effect. Rooftop gardens and landscaping can help decrease air pollution through the processes of photosynthesis and deposition. They can also fight greenhouse emissions by reducing the distribution of dust and smog production in urban areas.

To achieve these goals, the optimization of otherwise unused roof space is necessary to introduce the appropriate amount of vegetation for this scale of project. Granting our request allows for this rooftop garden amenity.

MOBILITY

Mobility:

The proposed planned development supports Citywide transportation goals and promotes safe and efficient circulation within the site and surrounding neighborhood (21A.55.050.E).

1. *Will drive access to local streets negatively impact the safety, purpose and character of the street?*

   No. The building as currently designed will have a positive impact on safety through the use of lighting and open glass, and the overall character of design is compatible with current neighborhood Master Plan.

2. *Does the site design consider safe circulation for a range of transportation options including: safe and accommodating pedestrian environment and pedestrian oriented design, bicycle facilities and connections where appropriate and orientation to transit where available, and minimizing conflicts between different transportation modes?*

   Yes. The site design allows for direct access to a safe public sidewalk with easy access to a TRAX station, bicycle storage space, and a parking garage that is designed per zoning code. Proposed rooftop amenity space will have no effect on current site design.

3. *Does the site design of the proposed development promote or enable access to adjacent uses and amenities?*

   Yes. The site design allows for easy access to nearby TRAX station, Madsen Park and Folsom Trail. The proposed rooftop amenity space provides additional "eyes" on Madsen Park which fulfills SLC's vision of "placemaking." The rooftop amenity space provides visual connection to Madsen Park and the connection will be reinforced and enhanced improving public safety and contributing to fulfilling the Neighborhood Master Plan. Improving public safety in Madsen Park encourages and promotes more residents to use this nearby amenity. *(North Temple Boulevard/800 West Station's Master Plan - Placemaking Strategy 3.C)*

4. *Does the proposed design provide adequate emergency vehicle access?*

   Yes. The building vehicle emergency access will not differ from original plans, which are designed to code.

5. *Are loading access and service areas adequate for the site and minimize impacts to the surrounding area and public rights-of-way?*

   Yes. The building loading access will not differ from original plans, which are designed to code.

EXISTING SITE FEATURES

Existing Site Features:

The proposed planned development preserves natural and built features that significantly contribute to the character of the neighborhood and/or environment. (21A.55.050.F).

The existing natural feature that most notably contributes to the neighborhood's character and environment is access to Madsen Park and Folsom Corridor Trail which are both located south of the site.

Visual and physical connections to the park and trailway—including safe public walkways—are not disrupted by granting our request. In fact, visual connection to Madsen Park and Folsom Corridor Trail will be reinforced and enhanced by the rooftop amenity space which will encourage more residents to use these nearby outdoor amenities. Improving resident use also improves public safety in Madsen Park which helps fulfill SLC's Placemaking Strategy 3.C. *(North Temple Boulevard/800 West Station's Master Plan - Placemaking Strategy 3.C)*

UTILITIES

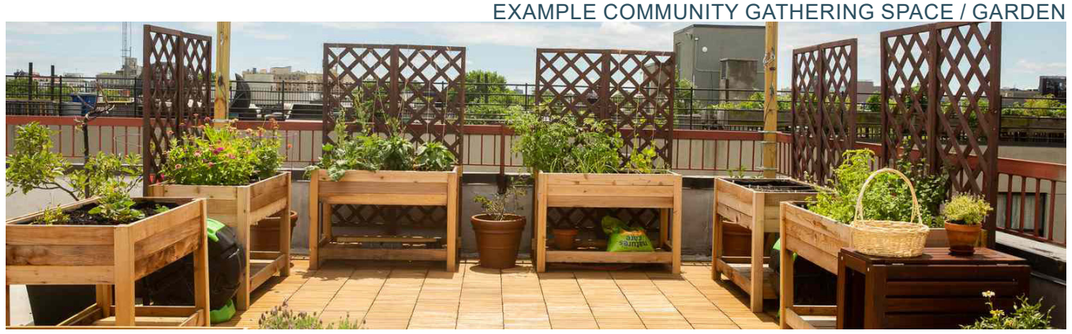
Utilities:

Existing and/or planned utilities will adequately serve the development and not have a detrimental effect on the surrounding area. (21A.55.050.G).

Granting our request will not have a detrimental effect on the surrounding area. Site utilities will adequately serve the development as they will be upgraded to meet the needs of both the tenants on site as well as those in the surrounding area.

This includes the sewer and water lines being upgraded on Chicago Street, as well as burying the currently existing power line so that it will no longer obstruct paths and views. Granting our request will not impact the current utility plans.

EXAMPLE COMMUNITY GATHERING SPACE / GARDEN



COMPATIBILITY: SURROUNDING AREA

Compatibility:

Demonstrate how the proposed planned development is compatible with other property in the neighborhood.

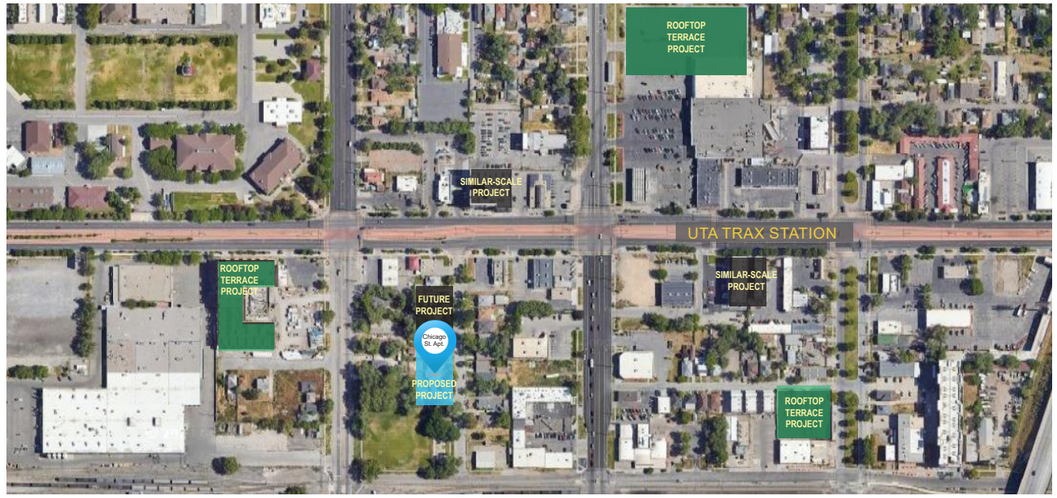
The current overall building is designed to integrate seamlessly into the existing neighborhood framework, being consistent in size, scale, and design with current and future multi-family developments in the area, as well meeting neighborhood Master Plan goals, zoning codes, and approved use.

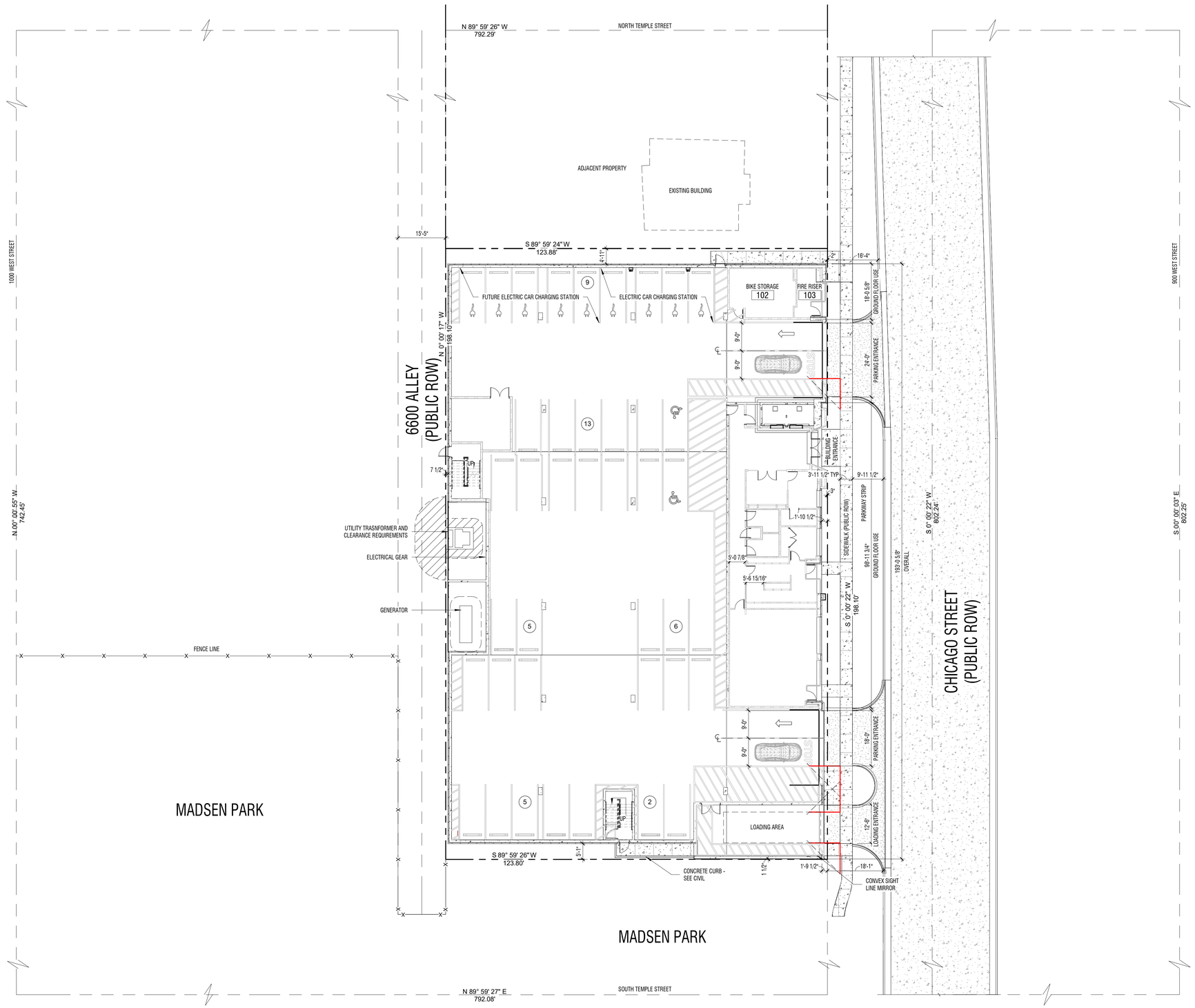
Granting our request will in no way detract from the project's neighborhood compatibility, but will result in a more beneficial and impactful design for residents and overall community.

Being able to utilize the rooftop space as an amenity will allow for more vegetation on the site, following the Master Plan's goal of "Placemaking" by making a more visually interesting design. It also allow for the inclusion of a tenant community garden, meeting the Planned Development Objectives of protecting open space and natural lands through providing community gathering space and on-site food production. *(North Temple Boulevard/800 West Station's Master Plan - Placemaking Strategy 3.C)*

Granting our request results in a more enhanced Chicago St. Apartments and better living space for Salt Lake residents "than would be achievable through the strict application of land use regulations." *(21A.55.010: PURPOSE STATEMENT)*

COMPATIBILITY MAP SHOWING PROXIMITY OF SIMILAR ROOFTOP TERRACE PROJECTS





PARKING CALCULATIONS

OCCUPANT TYPE	NUMBER OF UNITS	REQUIRED MIN.	MAX. ALLOWED	
2 BEDROOM UNITS:	19	(19 UNITS*1) 19 STALLS	(19 UNITS*3) 57 STALLS	
1 BEDROOM UNITS:	55	(55 UNITS*0.5) 28 STALLS	(55 UNITS*2) 110 STALLS	
STUDIO UNITS:	46	NO MINIMUM	(46 UNITS * 2) 92 STALLS	
TOTAL:	120	47 STALLS	259 STALLS	PROVIDED
25% PARKING REDUCTION		(47 STALLS*0.75) **35 STALLS**	**259 STALLS**	**40 STALLS**

PARKING TYPE	REQUIRED	PROVIDED
ADA STALLS	1 PER 25 STALLS (21A.44.040-B)	2
ELECTRIC VEHICLE STALLS	1 PER 25 STALLS (21A.44.040-C)	4
BICYCLES	1 PER 3 UNITS (21A.44.040-C) (21A.44.040.E.5) 1 SECURE PARKING = 2 REQUIRED TOTAL REQUIRED = 20	23

OPEN SPACE CALCULATIONS

OPEN SPACE	SQFT.	
TOTAL SITE	22,965	
REQUIREMENT 10%	2,296	
2ND FLOOR PATIO	1,740	
SIDE & FRONT YARD AREAS	1,009	
ROOF PATIO	7,275	*PENDING PLANNED DEVELOPMENT APPROVAL
TOTAL OPEN SPACE	2,749	

SETBACKS

ZONE: TSA-UN-T		
FRONT	REAR	SIDES
NONE	NONE	NONE

GENERAL NOTES

- CONTRACTOR SHALL MAINTAIN CONSTRUCTION APPROPRIATE BARRIERS AROUND THE ENTIRE PROJECT, INCLUDING BUT NOT LIMITED TO LIFE SAFETY AND EROSION CONTROL BARRIERS.
- CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES AS REQUIRED BY THE AUTHORITY HAVING JURISDICTION.
- CONTRACTOR SHALL REFER TO ENTIRE DRAWING SET INCLUDING CIVIL, PLUMBING, AND ELECTRICAL PLANS FOR DESIGN INTENT AND COORDINATION OF SITE ITEMS.
- CONTRACTOR SHALL REFER TO LANDSCAPING PLANS FOR PLANTING, SOIL TYPES, AND IRRIGATION SCOPE.

GROUND FLOOR USE

EAST FACADE

STREET FACING FACADE LENGTH	193'
VEHICLE ENTRY & LOADING BERTH ENTRY	64'
TOTAL	129'
NON-PARKING GROUND FLOOR USE	117'
PERCENTAGE	91%

NORTH

A1 ARCHITECTURAL SITE PLAN

1/16" = 1'-0"

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LOGAN UT 84321
SALT LAKE CITY UT 84103
255 SOUTH 300 WEST
795 NORTH 400 WEST

CHICAGO STREET APARTMENTS

45 NORTH CHICAGO ST
SALT LAKE CITY UT, 84116
ADVANTIS DEVELOPMENT

MARK:	DESCRIPTION:	DATE:

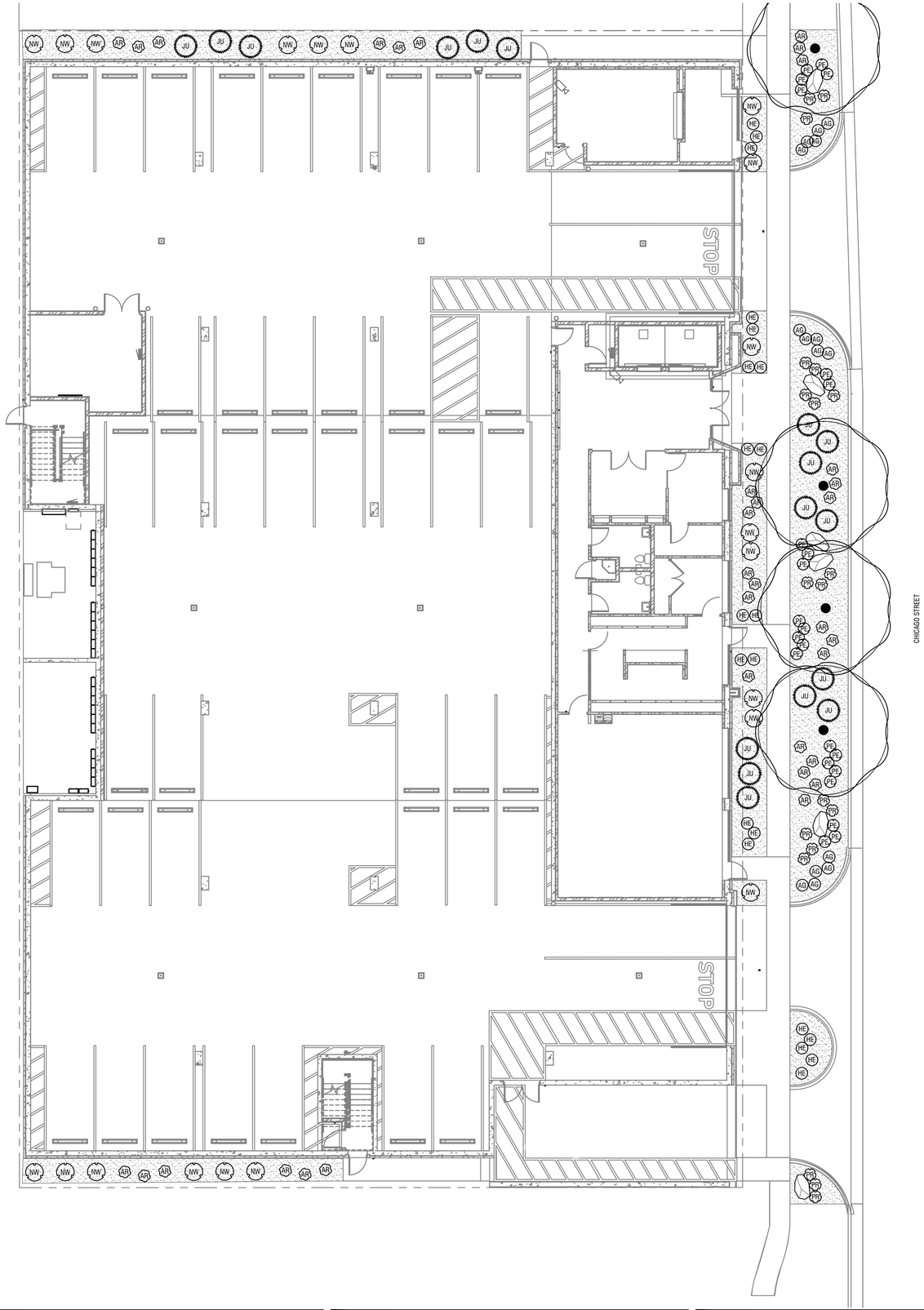
PROJECT #:	522163
DRAWN BY:	DWA
CHECKED BY:	DC
ISSUED:	07.17.2023

PLANNED DEVELOPMENT

ARCHITECTURAL SITE PLAN

AS-100

SHEET 082 OF 259



PLANTING NOTES

1. CONTRACTOR TO VERIFY ALL CONDITIONS PERTAINING TO THIS PLAN AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE LANDSCAPE ARCHITECT.
2. THE CONTRACTOR SHALL LOCATE AND VERIFY ALL UTILITIES LINES PRIOR TO PLANTING AND SHALL REPORT ANY CONFLICTS TO THE LANDSCAPE ARCHITECT.
3. CONTRACTOR SHALL REPAIR ALL DAMAGES CAUSED BY OPERATIONS (WHICH OCCUR ON OR OFF SITE) TO THE ARCHITECT'S AND OWNER'S SATISFACTION.
4. ALL QUANTITIES SHOWN ARE APPROXIMATE AND ARE FURNISHED SOLELY FOR THE CONTRACTOR'S CONVENIENCE. THEY DO NOT NECESSARILY CORRESPOND TO BID SCHEDULE ITEMS. IN THE CASE OF ANY DISCREPANCIES, PLANS SHALL OVERRIDE THE LANDSCAPE AND BID SCHEDULE QUANTITIES. CONTRACTOR SHALL VERIFY QUANTITIES SHOWN ON THE PLANS AND BASE THEIR BID ACCORDINGLY.
5. DO NOT MAKE UNAPPROVED SUBSTITUTIONS. IF SPECIFIED LANDSCAPE MATERIAL IS NOT OBTAINABLE, SUBMIT PROOF OF NON-AVAILABILITY FROM AT LEAST FIVE SOURCES TO LANDSCAPE ARCHITECT, TOGETHER WITH PROPOSAL FOR USE OF EQUIVALENT MATERIAL FOR FINAL APPROVAL.
6. LAYOUT INDIVIDUAL TREE AND PLANT LOCATIONS AND AREAS FOR MULTIPLE PLANTINGS, STAKE LOCATIONS, AND OUTLINE AREAS AND SECURE ARCHITECT'S ACCEPTANCE BEFORE START OF PLANTING WORK. MAKE MINOR ADJUSTMENTS AS MAY BE DIRECTED.
7. INSTALL DEWITT PRO-5 WEED BARRIER UNDER MULCH. FABRIC SHALL BE INSTALLED AFTER PRE-EMERGENT HAS BEEN APPLIED. CUT AN "X" SHAPE IN WEED BARRIER FOR PLANTS AND STAPLE FOLDS DOWN INTO SOIL. USE FABRIC STAPLES EVERY FIVE FEET ON CENTER IN PLANTER BED.
8. REPAIR ALL LANDSCAPING WHERE NEW CONSTRUCTION MEETS EXISTING.
9. PERFORM PERCOLATION TEST ON ALL TREE PLANTING HOLES AND PLANTING BEDS PRIOR TO PLANTING. INFORM LANDSCAPE ARCHITECT OF CONDITIONS OF POOR DRAINAGE.
10. LANDSCAPE CONTRACTOR SHALL COORDINATE AND ADJUST PLANT PLACEMENT WITH SPRINKLERS. PLANTS SHALL NOT BE PLACED WITHIN 12 INCHES OF A SPRINKLER HEAD.
11. CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN ALL PLANT MATERIALS IN A HEALTHY STATE DURING CONSTRUCTION. ANY DAMAGE TO PLANT MATERIAL DUE TO NEGLECT BY THE CONTRACTOR SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
12. SEE SHEET L-501 FOR LANDSCAPE DETAILS.

PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL
	GT	4	Gleditsia triacanthos inermis ` Ruby Lace ` / Honeylocust	B & B	2"
SHRUBS	**CODE**	**QTY**	**BOTANICAL / COMMON NAME**	**CONT**	
AR	AR	33	Aronia melanocarpa 'UCONNAM165' / Low Scape Mound® Black Chokeberry	5 gal	
JU	JU	17	Juniperus sabina 'Blue Forest' / Blue Forest Juniper	5 gal	
PR	PR	68	Perovskia atriplicifolia 'Blue Jean Baby' / Blue Jean Baby Russian Sage	5 gal	
GRASSES	**CODE**	**QTY**	**BOTANICAL / COMMON NAME**	**CONT**	
NW	NW	21	Panicum virgatum 'Northwind' / Northwind Switch Grass	5 gal	
PE	PE	112	Pennisetum alopecuroides 'Praline' / Praline Fountain Grass	1 gal	
PERENNIALS	**CODE**	**QTY**	**BOTANICAL / COMMON NAME**	**CONT**	
AG	AG	95	Agastache rupestris 'Mango Tango' / Threadleaf Hyssop	1 gal	
HE	HE	96	Hemerocallis x 'Always Afternoon' / Always Afternoon Daylily	1 gal	

LEGEND

SYMBOL	DESCRIPTION	QTY	DETAIL
	BOULDER - 1-2` DIAMETER	6	A1/L-501
SYMBOL	**DESCRIPTION**	**QTY**	**DETAIL**
	2" MINUS CRUSHED ROCK - 3" depth, weed barrier beneath, color to be chosen by owner	4,083 sf	

SLC STANDARDS MET

Park Strip Area					1013.4 SF
33% Area needs be Live Plant Material per SLC ordinance					334.4 SF
Total Area of Live Plant Material					**365.8 SF**

Plant Name	*H*	*W*	*AREA*	*QTY*	*TOTAL SF*
Juniperus sabina 'Blue Forest'	12"	54"	15.9	8	127.2 SF
Perovskia atriplicifolia 'Blue Jean Baby'	22"	36"	7.1	19	134.3 SF
Aronia melanocarpa 'Low Scape Mound'	22"	24"	3.1	14	44.0 SF
Agastache rupestris 'Mango Tango'	18"	18"	1.8	15	26.5 SF
Pennisetum alopecuroides 'Praline'	18"	12"	0.8	23	18.1 SF
Hemerocallis x 'Always Afternoon'	22"	24"	3.1	5	15.7 SF

0 10 20 30 feet

SCALE: 1" = 10'

NORTH

PLANNED DEVELOPMENT

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LOGAN UT 84321
255 SOUTH 300 WEST
SALT LAKE CITY UT 84103
795 NORTH 400 WEST

CHICAGO STREET APARTMENTS

45 NORTH CHICAGO ST
UT, 84416
OWNER/ORG NAME

DESCRIPTION:
DATE:
MARK:

PROJECT #: 522163
DRAWN BY: J. CLEMENTS
CHECKED BY: B. WRIGHT
ISSUED: 07.12.2023

PLANTING PLAN
GROUND LEVEL

L-101

SHEET 023 OF 259

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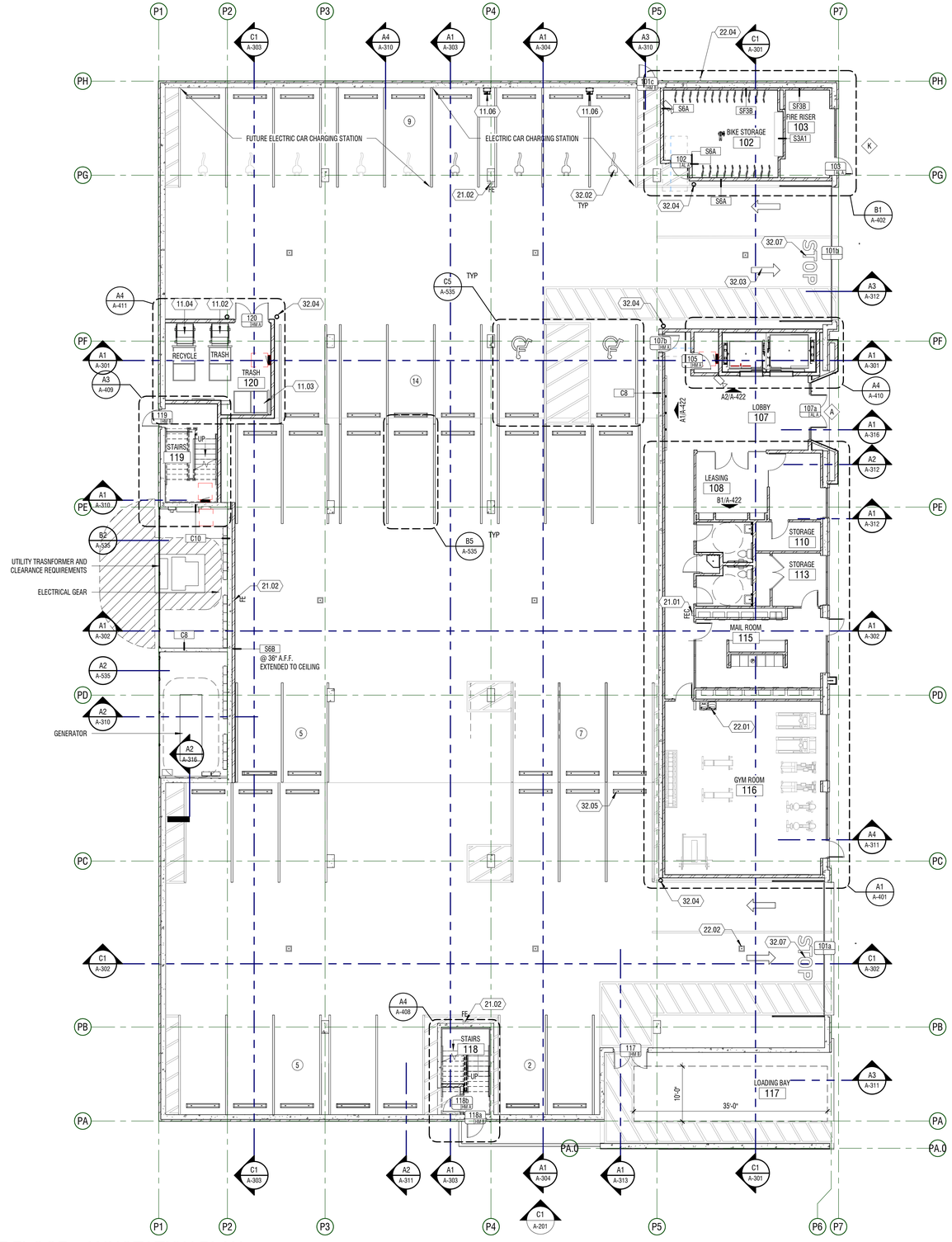

GENERAL NOTES

- KEYNOTES: (#) THE FIRST TWO NUMBERS REPRESENT THE RELATED CSI MASTER FORMAT DIVISION. THE SECOND SET OF NUMBERS REPRESENTS AN IDENTIFYING MARK VALUE. NOT ALL VALUES MAY BE USED OR OCCUR IN THE DOCUMENT SET.

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- PROVIDE CONTROL JOINTS AT 30 FEET O.C. IN CORRIDOR GYPSUM BOARD WALLS AND CEILINGS THAT EXCEED 30 FEET IN LENGTH, TYPICAL. SEE DETAIL, SHEET C4 / A-531 FOR WALL DETAIL.
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- SEE CODE PLAN FOR LOCATION SMOKE AND FIRE RATED PARTITIONS.
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- SLOPE ALL SETTING BEDS TO FLOOR DRAINS U.N.O.
- PARKING COUNT AS SHOWN (#)

KEYNOTES

(#)

MARK	DESCRIPTION
11.02	TRASH COMPACTOR - BASIS OF DESIGN DP500-HD, W/ REMOTE POWER UNIT, ODOR CONTROL, SOUND DEADENING
11.03	TRASH CONTAINER - COMPATIBLE WITH COMPACTOR
11.04	RECYCLE COMPACTOR - BASIS OF DESIGN DP500-HD, W/ REMOTE POWER UNIT, ODOR CONTROL, SOUND DEADENING
11.06	CAR CHARGING STATION, SEE ELECTRICAL DRAWINGS
21.01	FIRE EXTINGUISHER AND SEMI-RECESSED CABINET, SEE DETAIL C1/A-604 TYP EXTINGUISHER TYPE - 2A:10 BC
21.02	HOOK MOUNTED FIRE EXTINGUISHER TYPE 6A:60 BC
22.01	HI-LO DRINKING FOUNTAIN WITH WATER BOTTLE FILLER - SEE PLUMBING DRAWINGS SEE B4/A-430
22.02	DRAIN TYPICAL, SEE PLUMBING DRAWINGS
22.04	HOSE BIB LOCATION - SEE PLUMBING DRAWINGS
32.02	PAINT ELECTRIC CAR PARKING SYMBOL ON CONCRETE
32.03	PAINTED DIRECTIONAL ARROW, SEE DETAIL D5/A-536
32.04	BOLLARD, SEE DETAIL D1/A-536 PAINTED COLOR SAFETY YELLOW
32.05	PARKING BLOCK, 6x4' RUBBER WHEEL STOP W/ REFLECTIVE STRIPING
32.07	PAINTED FLOOR STOP SYMBOL

A1
3/32" = 1'-0"

1ST FLOOR - ANNOTATION PLAN

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CHICAGO STREET APARTMENTS

45 NORTH CHICAGO ST
SALT LAKE CITY UT, 84116
ADVANTIS DEVELOPMENT

PLANNED DEVELOPMENT

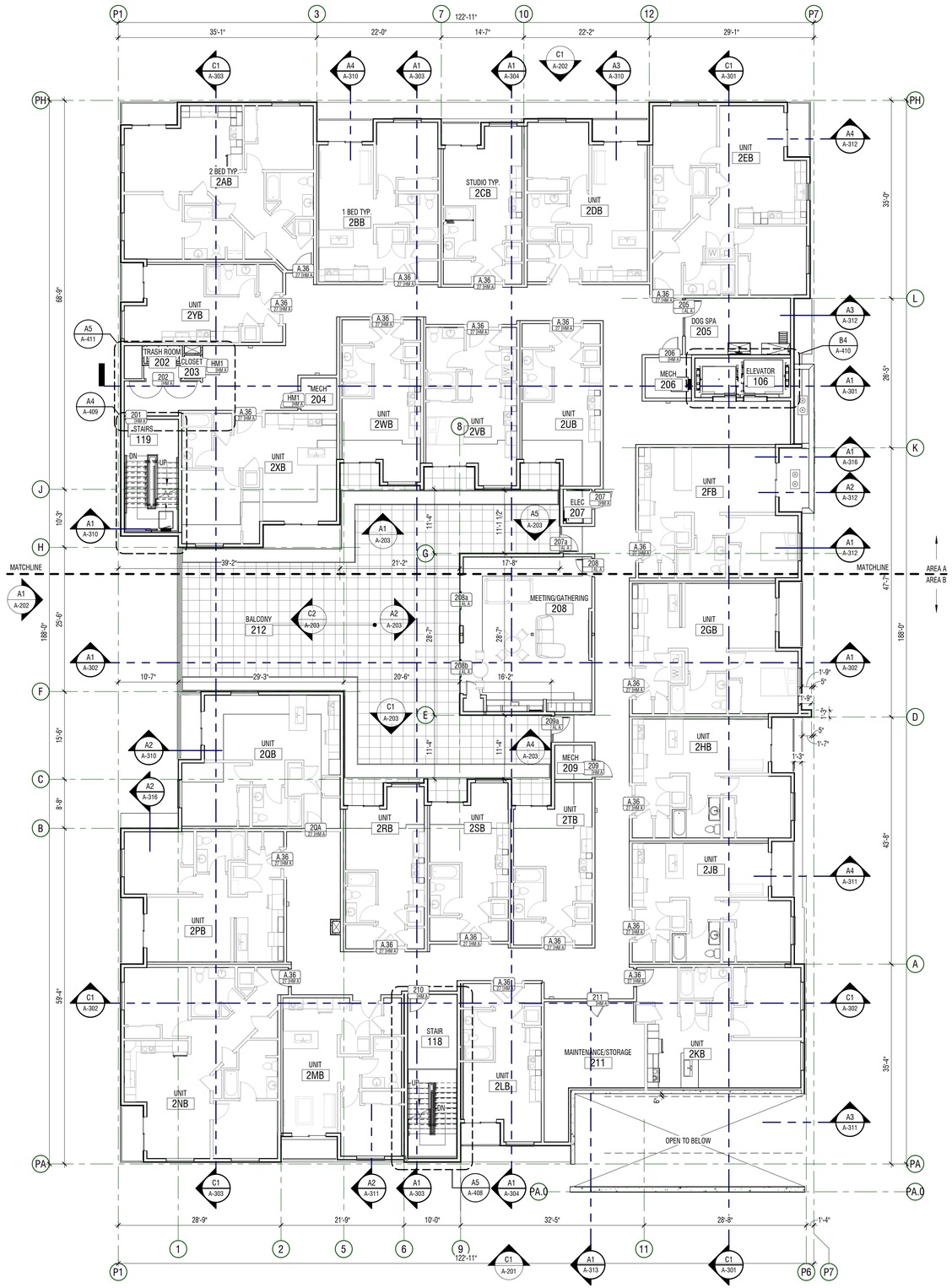
MARK:	DATE:	DESCRIPTION:

PROJECT #: 522163
DRAWN BY: DWA
CHECKED BY: DC
ISSUED: 07.17.2023

1ST FLOOR - ANNOTATION PLAN

A-101.1

SHEET 084 OF 259



A2 2ND FLOOR - OVERALL PLAN

3/32" = 1'-0"

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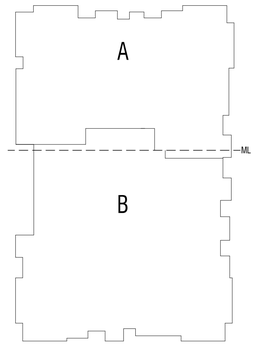
SHEET INDEX: 2ND FLOOR

AREA PLAN



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ADVANTIS DEVELOPMENT

PLANNED DEVELOPMENT

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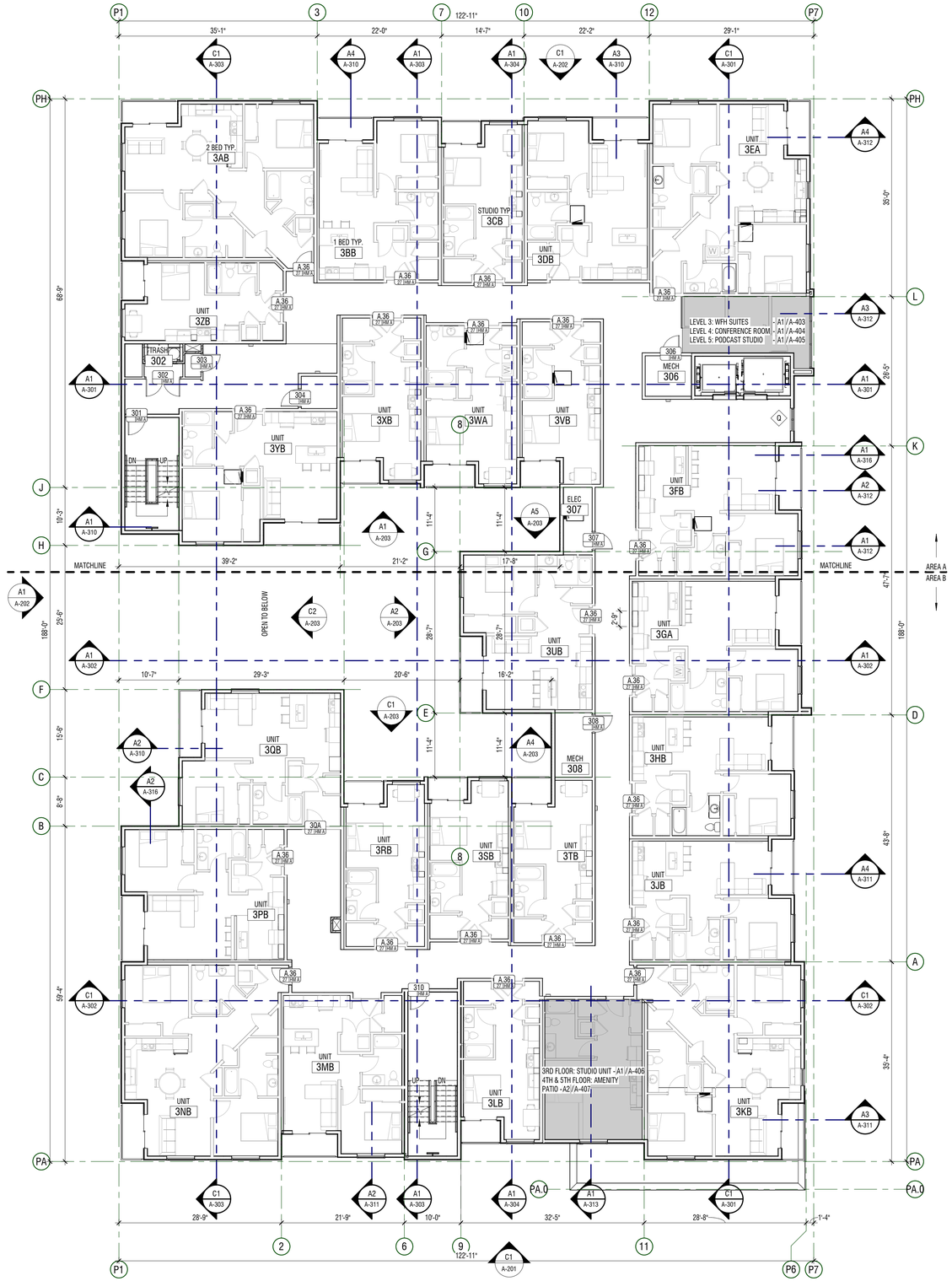
2ND FLOOR - OVERALL PLAN

A-102.1

SHEET 089 OF 259



A1 3RD - 5TH FLOOR - ANNOTATION PLAN

3/32" = 1'-0"

NORTH

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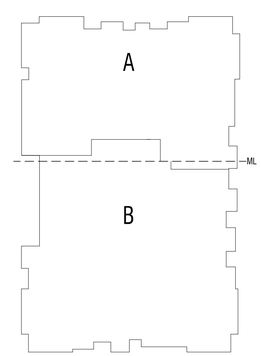
SHEET INDEX: 3RD- 5TH FLOOR

AREA PLAN



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CHICAGO STREET APARTMENTS

45 NORTH CHICAGO ST
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ADVANTIS DEVELOPMENT

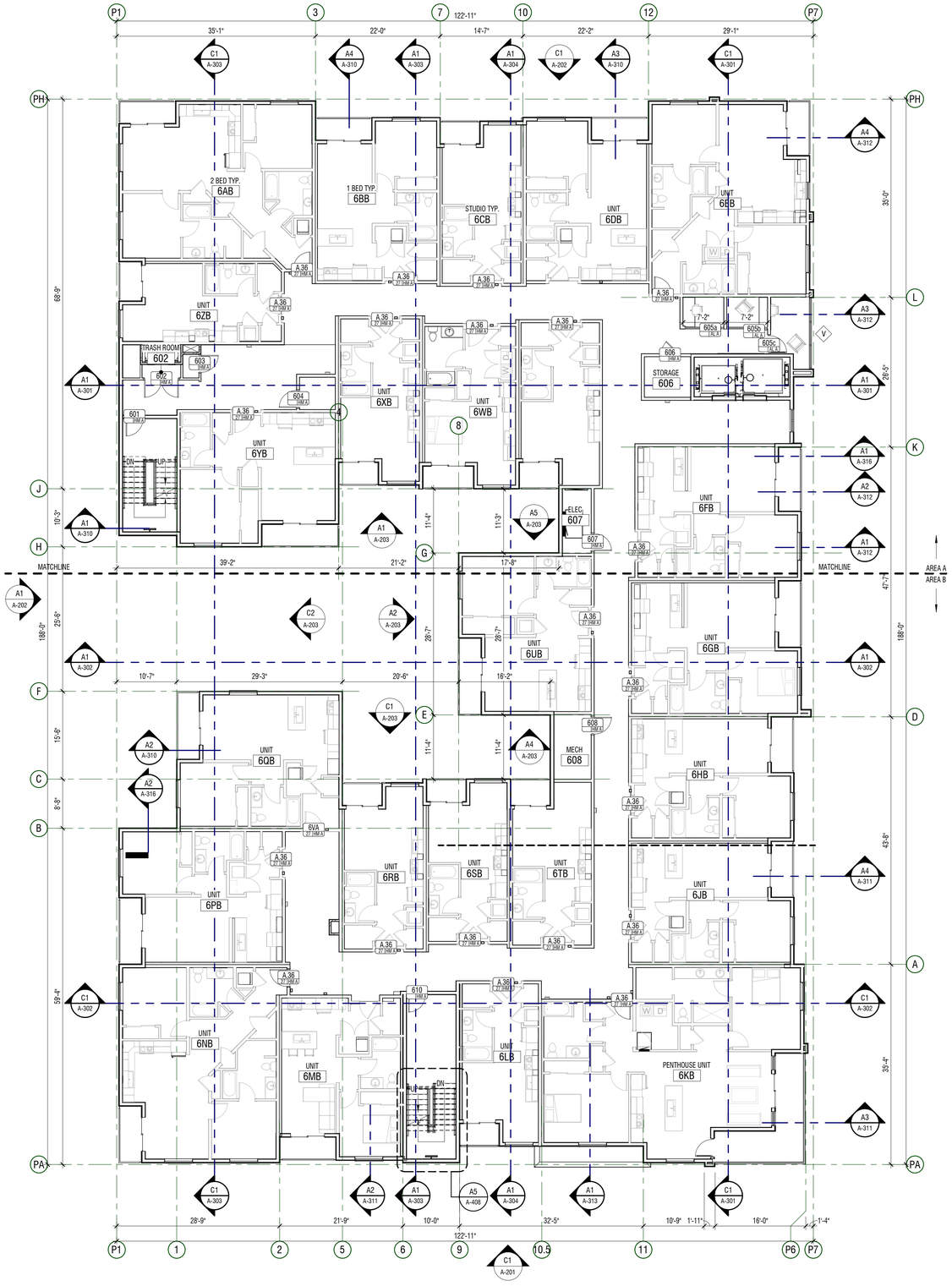
MARK:	DATE:	DESCRIPTION:

PROJECT #:	522163
DRAWN BY:	DWA
CHECKED BY:	DC
ISSUED:	07.17.2023

PLANNED DEVELOPMENT

3RD - 5TH FLOOR - OVERALL PLAN

A-103.1



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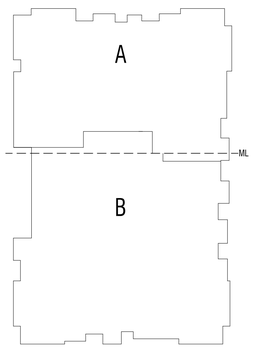
VIEW LEGEND

AREA PLAN



A1 3/32" = 1'-0"

6TH FLOOR - ANNOTATION PLAN

NORTH

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LOGAN UT 84321
255 SOUTH 300 WEST
SALT LAKE CITY UT 84103
798 NORTH 400 WEST

CHICAGO STREET APARTMENTS

45 NORTH CHICAGO ST
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ADVANTIS DEVELOPMENT

MARK:	DESCRIPTION:	DATE:

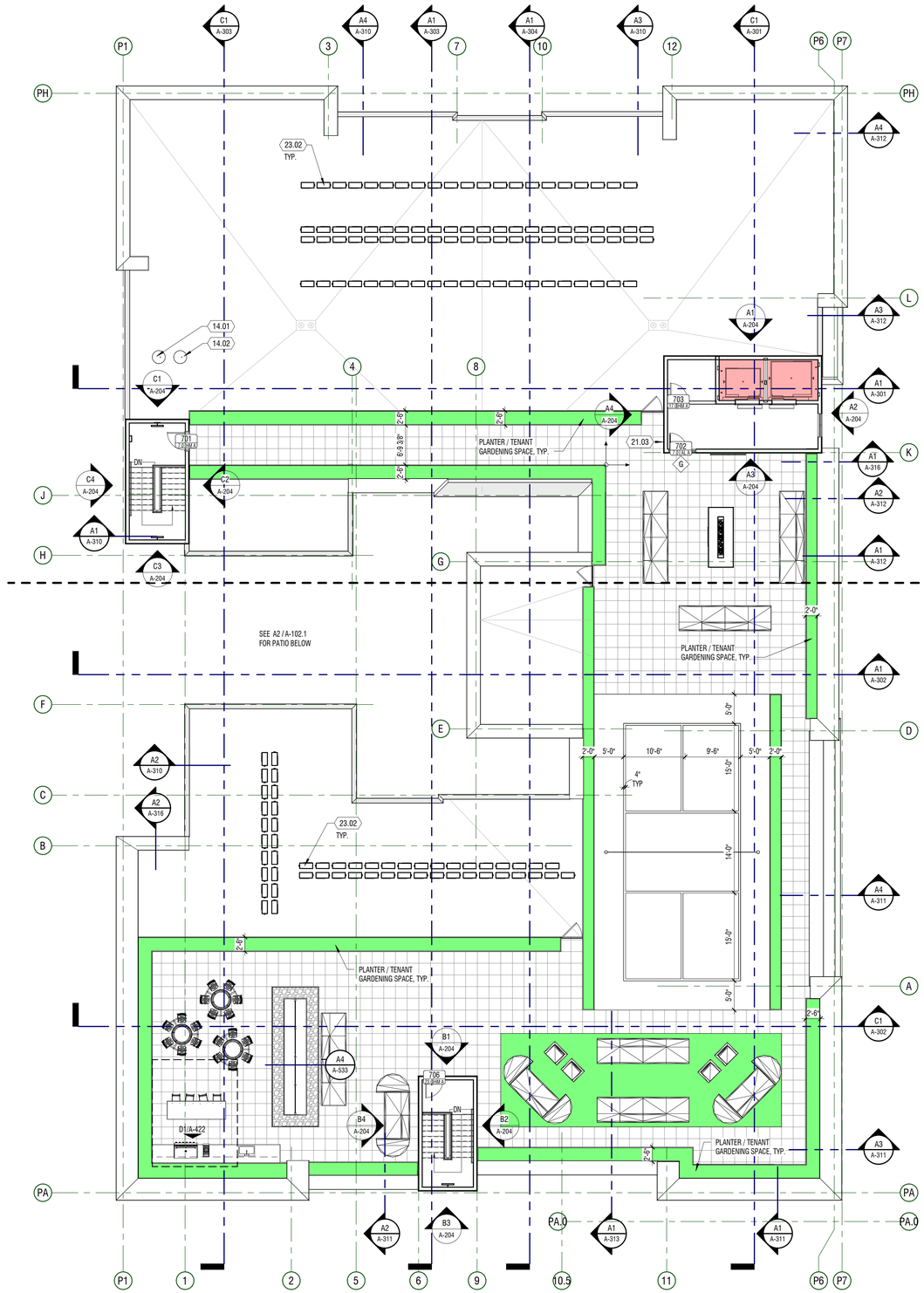
PROJECT #: 522163
DRAWN BY: DWA
CHECKED BY: DC
ISSUED: 07.17.2023

PLANNED DEVELOPMENT

6TH FLOOR - OVERALL PLAN

A-106.1

SHEET 107 OF 259



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2. CONTRACTOR SHALL VERIFY LAY-OUT OF STRUCTURAL, MECHANICAL, AND ELECTRICAL.
3. ALL INTERIOR DIMENSIONS ARE TO/FROM FACE OF STUD / MASONRY. ALL EXTERIOR DIMENSIONS ARE TO/FROM FACE OF GRID/FOUNDATION. DIMENSIONS MARKED 'CLEAR' OR 'CLR' ARE FROM FACE OF FINISH TO FACE OF FINISH AND SHALL BE MAINTAINED AND CANNOT BE FIELD ADJUSTED WITHOUT PRIOR APPROVAL OF THE ARCHITECT.
4. PLAN INDICATES MAJOR ROOF PENETRATIONS. THIS DOES NOT REPRESENT ALL PENETRATIONS BY UTILITIES. SEE MECHANICAL AND PLUMBING PLANS FOR ADDITIONAL INFORMATION.
5. ALL MECHANICAL AND OTHER PENETRATIONS SHALL BE FLASHED ACCORDING TO ROOF MANUFACTURER STANDARDS AND SPECIFICATIONS TO MAINTAIN ROOF MEMBRANE WARRANTY. PENETRATION LOCATIONS TO BE COORDINATED WITH MANUFACTURE PRIOR TO INSTALLATION. PITCH POCKETS ARE **NOT** ALLOWED
6. PROVIDE ELECTROLYSIS SEPARATION BETWEEN DISSIMILAR MATERIAL CONNECTIONS
7. CRICKETS SHOWN IN ROOF PLAN MAY NOT BE REFLECTED IN BUILDING SECTIONS OR DETAILS
8. ALL FIELDS SLOPE TO ROOF DRAINS. CRICKETS SHOWN ARE FOR GENERAL REFERENCE AND MAY NOT INCLUDE ALL SITUATIONS WHERE CRICKETS ARE REQUIRED. INSTALLER IS RESPONSIBLE TO CRICKET AS REQUIRED TO PREVENT UNNECESSARY BUILD-UP OR DAMMING OF WATER ALONG WALLS, CURBS, ETC.
9. PROVIDE 2'x2' ROOF WALKWAY PADS FROM ROOF HATCH TO AND AROUND ALL MECHANICAL UNITS, ROOF TOP EQUIPMENT, SOLAR PANELS, ETC.

KEYNOTES

(#)

MARK	DESCRIPTION
14.01	TRASH CHUTE - PROVIDE ALL MOUNTING HARDWARE REQUIRED TO SUPPORT CHUTES AT EACH LEVEL.
14.02	RECYCLE CHUTE - PROVIDE ALL MOUNTING HARDWARE REQUIRED TO SUPPORT CHUTES AT EACH LEVEL.
21.03	FIRE EXTINGUISHER SURFACE MOUNT CABINET EXTERIOR RATED, EXTINGUISHER TYPE 4A
23.02	ROOT TOP UNIT, PROVIDE CURB - SEE MECHANICAL FOR DETAIL

A2 3/32" = 1'-0"

ROOF PLAN

NORTH

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ROOF PLAN - AMENITY SPACE

A-107.1

SHEET116AOF 259

C1 ELEVATION

3/32" = 1'-0" SOUTH

A1 ELEVATION

3/32" = 1'-0" EAST

MATERIAL LEGEND

# MARK	DESCRIPTION	STYLE/MFR #	COLOR	NOTES
	Carbon steel			
	100% Fluoropolymer Resin Powder Coat Arabian Blue			
	100% Fluoropolymer Resin Powder Coat	Construction Specialties, Inc.		Finish must exceed AAMA 2605-5
DIVISION 03: PRECAST CONCRETE TRIM				
C1	PRE-CAST ACCENT BAND	--	--	--
DIVISION 04: UNIT MASONRY				
M1	MODULAR (4 x 2-1/4 x 8) BRICK	INTERSTATE BRICK	MIDNIGHT BLACK	SEE ELEVATIONS FOR PLACEMENT OF CONTROL JOINTS (C.J.)
M2	MODULAR (4 x 1/2 x 8) THIN BRICK	INTERSTATE BRICK	MIDNIGHT BLACK	SEE ELEVATIONS FOR PLACEMENT OF CONTROL JOINTS (C.J.)
M3	MODULAR (4 x 1/2 x 8) THIN BRICK (SOLDIER COURSE)	INTERSTATE BRICK	MIDNIGHT BLACK	HEADERS FOR OPENINGS
DIVISION 05: METALS				
MT1	BREAK METAL CAP	--	BLACK - PAINTED	SEE WALL SECTIONS
MT2	ANODIZED ALUMINUM	--	DARK BRONZE	SEE WINDOW SCHEDULE
MT3	PRE-FABRICATED PLANTER BOXES	ORE	BLACK	--
DIVISION 07: COMPOSITE WALL PANELS				
A1	ARCHITECTURAL COMPOSITE WALL PANEL (HORIZONTAL - 1818)	NICHIHA	WARM WHITE	INSTALL PER MANUFACTURER RECOMMENDATION. SEE SHEET A-??? FOR TYPCIAL DETAILS
A2	ARCHITECTURAL COMPOSITE WALL PANEL (HORIZONTAL - 1818)	NICHIHA	BAY BLUE	INSTALL PER MANUFACTURER RECOMMENDATION. SEE SHEET A-??? FOR TYPCIAL DETAILS
A3	ARCHITECTURAL COMPOSITE WALL PANEL (VERTICAL - 3030)	NICHIHA	NICKEL	INSTALL PER MANUFACTURER RECOMMENDATION. SEE SHEET A-??? FOR TYPCIAL DETAILS
A4	ARCHITECTURAL COMPOSITE WALL PANEL (HORIZONTAL - 1818)	NICHIHA	CEDAR	INSTALL PER MANUFACTURER RECOMMENDATION. SEE SHEET A-??? FOR TYPCIAL DETAILS
DIVISION 07: SYNTHETIC COATINGS				
E1	POLYMER-BASED EXTERIOR FINISH SYSTEM (COLOR: #1)	--	OC-69 WHITE OPULENCE	SEE SPECIFICATIONS
DIVISION 08: OPENINGS				
W1	VINYL WINDOWS	AMSCO ARTIST	--	SEE WINDOW SCHEDULE
W2	3 PANEL VINYL SLIDING DOOR SYSTEM	JELD-WEN	WHITE	
DIVISION 09: FINISHES				
P9	PAINTED HOLLOW METAL DOOR AND FRAME	--	--	--
DIVISION 10: SPECIALTIES				
S1	BUILDING SIGNAGE BY OTHERS	--	--	--

GENERAL NOTES

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KEYNOTES

# MARK	DESCRIPTION
11.13	HEIGHT GUARD "CLEARANCE" SIGN 9' W x 7" D. FIELD VERIFY HEIGHT LETTERING, MOUNT 1" BELOW HEIGHT LISTED.
26.02	EXTERIOR WALL SCONCE LIGHT FIXTURE - SEE ELECTRICAL DRAWINGS FOR TYPE
26.03	LINEAR TAPE LIGHT - SEE ELECTRICAL
26.04	CARD READER - SEE ELECTRICAL

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ISSUED: 07.17.2023

PLANNED DEVELOPMENT

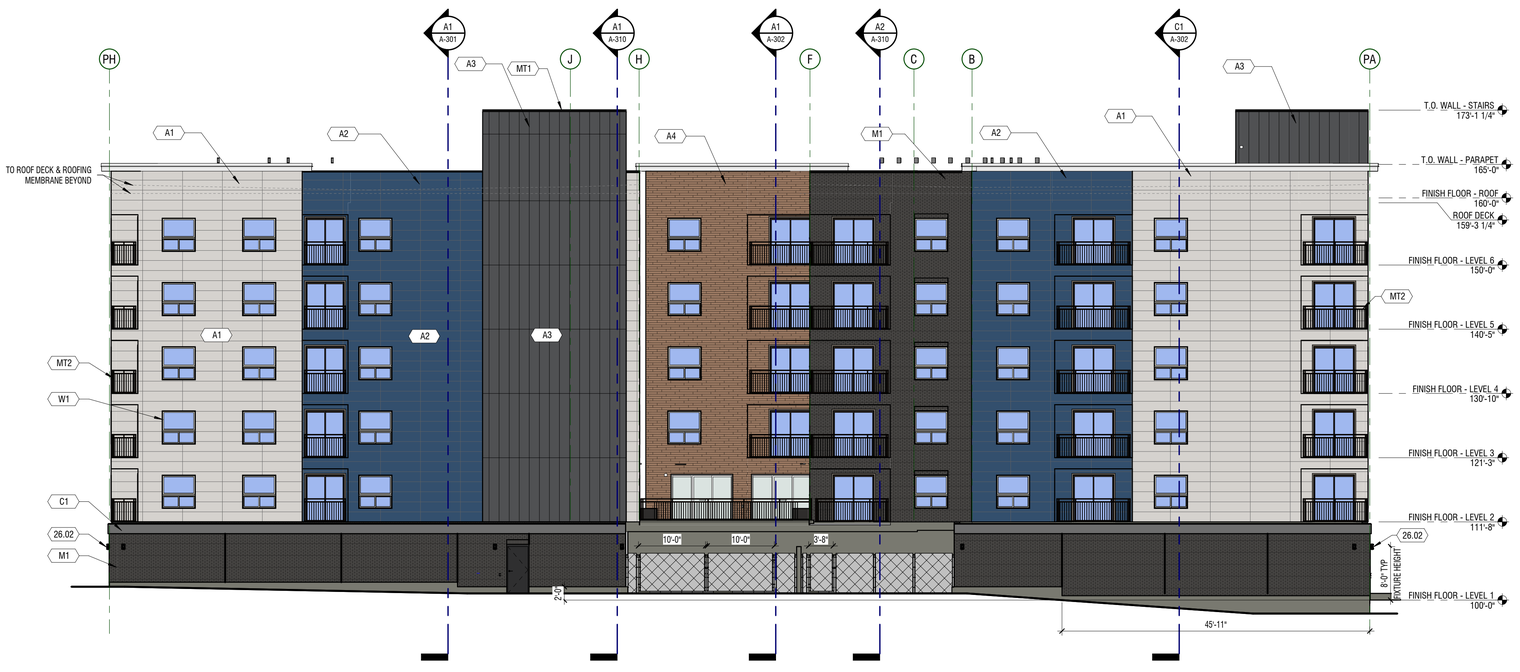
ELEVATIONS - EXTERIOR

A-201

SHEET 117 OF 259

C1 ELEVATION

3/32" = 1'-0" NORTH



A1 ELEVATION - WEST

3/32" = 1'-0" WEST

MATERIAL LEGEND

MARK	DESCRIPTION	STYLE/MFR #	COLOR	NOTES
	Carbon steel			
100% Fluoropolymer Resin Powder Coat Arabian Blue				
	100% Fluoropolymer Resin Powder Coat	Construction Specialties, Inc.		Finish must exceed AAMA 2605-5
DIVISION 03: PRECAST CONCRETE TRIM				
C1	PRE-CAST ACCENT BAND	--	--	--
DIVISION 04: UNIT MASONRY				
M1	MODULAR (4 x 2-1/4 x 8) BRICK	INTERSTATE BRICK	MIDNIGHT BLACK	SEE ELEVATIONS FOR PLACEMENT OF CONTROL JOINTS (C.J.)
M2	MODULAR (4 x 1/2 x 8) THIN BRICK	INTERSTATE BRICK	MIDNIGHT BLACK	SEE ELEVATIONS FOR PLACEMENT OF CONTROL JOINTS (C.J.)
M3	MODULAR (4 x 1/2 x 8) THIN BRICK (SOLDIER COURSE)	INTERSTATE BRICK	MIDNIGHT BLACK	HEADERS FOR OPENINGS
DIVISION 05: METALS				
MT1	BREAK METAL CAP	--	BLACK - PAINTED	SEE WALL SECTIONS
MT2	ANODIZED ALUMINUM	--	DARK BRONZE	SEE WINDOW SCHEDULE
MT3	PRE-FABRICATED PLANTER BOXES	ORE	BLACK	--
DIVISION 07: COMPOSITE WALL PANELS				
A1	ARCHITECTURAL COMPOSITE WALL PANEL (HORIZONTAL - 1818)	NICHIHA	WARM WHITE	INSTALL PER MANUFACTURER RECOMMENDATION. SEE SHEET A-??? FOR TYPCIAL DETAILS
A2	ARCHITECTURAL COMPOSITE WALL PANEL (HORIZONTAL - 1818)	NICHIHA	BAY BLUE	INSTALL PER MANUFACTURER RECOMMENDATION. SEE SHEET A-??? FOR TYPCIAL DETAILS
A3	ARCHITECTURAL COMPOSITE WALL PANEL (VERTICAL - 3030)	NICHIHA	NICKEL	INSTALL PER MANUFACTURER RECOMMENDATION. SEE SHEET A-??? FOR TYPCIAL DETAILS
A4	ARCHITECTURAL COMPOSITE WALL PANEL (HORIZONTAL - 1818)	NICHIHA	CEDAR	INSTALL PER MANUFACTURER RECOMMENDATION. SEE SHEET A-??? FOR TYPCIAL DETAILS
DIVISION 07: SYNTHETIC COATINGS				
E1	POLYMER-BASED EXTERIOR FINISH SYSTEM (COLOR: #1)	--	OC-69 WHITE OPULENCE	SEE SPECIFICATIONS
DIVISION 08: OPENINGS				
W1	VINYL WINDOWS	AMSCO ARTIST	--	SEE WINDOW SCHEDULE
W2	3 PANEL VINYL SLIDING DOOR SYSTEM	JELD-WEN	WHITE	
DIVISION 09: FINISHES				
P9	PAINTED HOLLOW METAL DOOR AND FRAME	--	--	--
DIVISION 10: SPECIALTIES				
S1	BUILDING SIGNAGE BY OTHERS	--	--	--

KEYNOTES

#	DESCRIPTION
26.02	EXTERIOR WALL SCONCE LIGHT FIXTURE - SEE ELECTRICAL DRAWINGS FOR TYPE

design west | architects
LOGAN UT 84321
255 SOUTH 300 WEST
SALT LAKE CITY UT 84103
795 NORTH 400 WEST

CHICAGO STREET APARTMENTS

45 NORTH CHICAGO ST
SALT LAKE CITY UT, 84116
ADVANTIS DEVELOPMENT

MARK:	DESCRIPTION:	DATE:

PROJECT #: 522163
DRAWN BY: DWA
CHECKED BY: DC
ISSUED: 07.17.2023

PLANNED DEVELOPMENT

ELEVATIONS-
EXTERIOR

A-202

SHEET 118 OF 259